

# The Jenners Building Design and Access Statement January 2022

David Chipperfield Architects

The Jenners Building  
Design and Access Statement  
Job number 1377

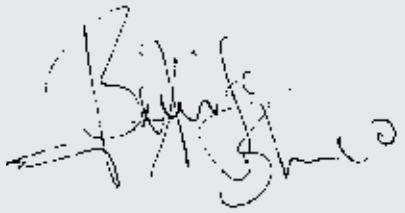
January 2022

Prepared by  
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A handwritten signature in black ink, appearing to read 'Oliver Ulmer', written in a cursive style.

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This Design and Access Statement is submitted on behalf of AAA United A/S (“The Applicant”), in the support of both planning and listed building consent applications for the redevelopment of the Jenners Building in Edinburgh. Jenners (47-52 Princes Street and 2-8 South St David Street) is a Category A listed building located within the New Town Conservation Area and the Old and New Towns of Edinburgh World Heritage Site

The Jenners Building design strategy incorporates the principles of sustainable design and construction applying the principles of The City of Edinburgh Council’s ‘Edinburgh City Local Development Plan 2016’ and the emerging ‘City Plan 2030, Proposed Plan, September 2021’. Also driving the sustainability outcomes of the development are : Scottish Government’s Net Zero Public Sector Building Standards and Building Standards Section 7 requirements.

## Client vision statement

“When we acquired the Jenners building, we knew that it came with a great deal of responsibility. It is iconic within Edinburgh’s built environment and integral to the city’s cultural heritage. We approach this renovation with upmost respect for the historic importance and value placed upon the building by the people of Edinburgh. We understand the scale of the challenge and are fully dedicated to honouring this building and its place within the future of Edinburgh. We knew that one day the Jenners building would be standing vacant, and we would have the moral obligation of bringing it back to its former glory. We do hope that we can build support to fulfil this highly important task.

The project is first and foremost about helping to preserve a unique and historic Edinburgh landmark. We are pursuing the project due to our drive and passion for architecture and historical buildings. This project seeks to secure the future of the Jenners building for generations to come. The original Jenners building will always stay and is the very DNA of our plans, with the redevelopment of a vibrant, sustainable and accessible department store being the heart of the project.

Our major focus is to bring back a fully refurbished department store, supplemented by a food and beverage and hospitality offering. The Grand Saloon always was and will remain the primary feature of the building, situated at the centre of the department store and open for the people of Edinburgh and visitors alike to experience. The boutique hotel will occupy the upper levels of the building, much of which has been unused for decades.

We are aiming to create an enduring and sustainable use for this incredible property, and we are committed to its success.”

**Anders Krogh**

AAA United A/S, Director

(AAA United is a real estate company owned by Anders Holch Povlsen)



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# 1. Introduction

## 1.1 Supporting documents

This document should be read in conjunction with the Application drawings. Reference should also be made to the supplementary information submitted as part of the Applications under separate cover, including but not limited to, the following:

- Planning Statement
- Heritage and Townscape Assessment
- Sustainability Statement
- Transport Statement
- Air Quality Assessment
- Noise Assessment and Plant Specifications
- Economic Benefits Statement
- Drainage Strategy Report / Surface Water Management Plan
- Asbestos Survey

## 1.2 Planning application

Planning permission is sought for the change of use from retail to mixed-use development including retail and hotel with ancillary uses and restaurant/bar spaces with associated alterations and extensions.

- Repurposing the site to include a renovated department store in the key public facing parts of the building and a high-end lifestyle hotel above with 96 rooms
- Additional floor, new facade and roof terrace to No. 10-14 Rose Street
- Single storey roof extension to the 1895 and 1903 Jenners buildings
- Restoration to the historic Jenners facade
- Restoration and part re-modelling of the 1960's Princes St building, shared with the Mercure Hotel

## 1.3 Listed building consent

Listed building consent application is for internal and external alterations, extensions and restoration works to facilitate the change of use from retail to mixed-use development (including retail and hotel with ancillary uses and restaurant/bar spaces) to the Category A-listed Jenners building 47-52 Princes Street, 2-8 South St David Street to upgrade existing retail use and create new hotel including:

- Internal alterations to form hotel use including dewatering of internal walls, existing stairs and lifts, and new openings through floors to form stairs and service runs
- External alterations including new openings to form hotel entrance and roof extensions to provide hotel accommodation, roof-top bar and plant enclosures
- Internal alterations to upgrade existing retail areas including reinstatement of lost historic features, spaces and characteristics including new stairs, galleries and skylights; removal of non-original and modern retail fabric
- External fabric repairs and conservation to improve the building condition, including masonry and window repairs and replacements, reinstatement of missing details

## 1.4 Project team

The design presented within this document is the result of a collaborative process that has involved a large team of professionals with extensive experience on projects of similar quality, size, complexity, budget, and urban and historic importance. Each of the firms listed in this chapter has provided detailed technical input in its field of expertise. David Chipperfield Architects has led the design process based on advice from the whole team and with the objective of aligning the design aspirations with the Applicant's ambition incorporating the input received from local authorities and key stakeholders.

Client	AAA United A/S
Project manager	Redside Property Company
Principal architect	David Chipperfield Architects
Executive architect	3D Reid
Structural engineer	Etive Consulting Engineers
MEP & sustainability	Rybka
Fire engineer	OFR Fire + Risk Consultants
Conservation architect	Loader Monteith Architects
Planning and heritage	Turley
Cost manager	Gardiner & Theobald
Specialist Lighting	Light Bureau
Principal designer	Gardner & Theobald
Acoustic consultant	Sandy Brown
Sustainability advisor	Henry Luker
Transport consultant	Transplanworld
Client property agent	Harper Dennis Hobbs
Hotel consultant	PKF Hotel expert





View of Edinburgh New Town and Princes Street Gardens

## 2. Executive summary

## 2.0 Executive summary

The Jenners Building was a grand department store located on Princes Street – Edinburgh’s principal retail boulevard – and within the city’s UNESCO World Heritage listed New Town. Founded in 1838, Jenners is one of the oldest department stores in the world to continuously trade from the same site. The current, Category A listed building, designed by William Hamilton Beattie in a Victorian Renaissance Revival style, opened to the public in 1895 and was extended in 1905. Continued expansion in the middle of the twentieth century led to further modern additions to the original building on Princes Street and Rose Street.

The Jenners Building is a much-loved institution for Edinburgh and Scotland, a place of many shared and personal histories. Over time however, the physical fabric of the store has declined, with many of the original features lost or altered.





Princes Street ca 1930  
© Courtesy of HES (Scottish Colorfoto Collection)



## 2.1 Project ambition

The proposed development recognises the significance and tradition of the Jenners Building. It builds on the store's heritage and envisages a new combination of high-end retail and hospitality for Edinburgh. The department store opens on to Princes Street and South St David Street and is complemented by food and beverage destinations.

The project will create a new, contemporary department store within the most public facing, historically significant, parts of the building. This offering will be enhanced with the introduction of a hotel and hospitality functions, predominately on the upper levels.





The hotel looks towards Saint Andrew Square and has rooms located on the upper floors of the main building and along Rose Street. Together these two uses make a significant contribution to Edinburgh's city centre and represent a belief in Princes Street's continuing importance as Edinburgh's principal retail street.

The project as a whole will deliver a new viable use for the building which has for the moment, like many large department stores including many that are listed, lost its purpose.





At the heart of the building is the central atrium – a three-storey, top-lit grand saloon that is central to the experience of visiting the store. This saloon will be restored to its former splendour as a unique public space that is integral to both the department store and hotel.



Jenners Grand Saloon interior 1895  
© Courtesy of HES (Bedford Lemere and Company Collection)

## 2.2 Background

David Chipperfield Architects was commissioned in 2019 to undertake a feasibility study on the re-development of the Jenners Building. Extensive research into historic archives, site visits, structural surveys, conservation assessments and heritage analysis has resulted in a thorough understanding of the existing building, its development and challenges going forward.

The concept design was informed by initial understanding of the historic and architectural development and significance of the building, and related heritage assets presented in the Heritage Scoping Report (prepared by Turley - Heritage and Townscape) with more detailed and targeted investigations carried out to inform the Stage 2 design proposals.

The design development has been subject to interim heritage impact assessments, including a heritage review at Stage 2 which identified potential conflicts of the design with the heritage significance. Mitigation through design changes, in response to the interim assessments and heritage review has been carried out and incorporated into the application proposals. Please refer to details in Heritage and Townscape Statement (Turley Heritage and Townscape).

Engagement with City of Edinburgh Council and Historic Environment Scotland, as well as various other stakeholders (see section 10 - planning consultations) took place as part of an in-depth consultation process. It was the purpose of these meetings to demonstrate that the proposed design is founded on a clear understanding of the site and its context, and is appropriately sympathetic to both,

whilst delivering a viable development.

This engagement informed the evolution of the design during the formal pre-application process, with monthly meetings (or site visits) taking place up until the submission of the application. These meetings focused on key items with the aim that all contentious matters were addressed as far as possible prior to planning submission.



### 3. Site location



### 3.1 Heritage designations

The Jenners Building (excluding 2-20 Rose Street) is a Category A-listed building located within both the New Town Conservation area and the Old and New Towns of Edinburgh World Heritage Site. It is prominently situated at the eastern end of Princes Street, one of the principal streets of the First New Town, at the point where it meets South St David Street leading up to St Andrew Square. The Princes Street elevation and corner tower define the corner position and overlook Princes Street Gardens (east).

Given its significant location within the New Town Conservation Area and World Heritage Site, and as part of the historic city centre there are several listed buildings within the immediate surroundings of the Jenners Building.

For these reasons, policies within the Edinburgh Local Development Plan, which relate to new buildings within conservation areas, and the setting of listed buildings and World Heritage Sites (Env 6, Env 3 and Env 1) are relevant to this application.

Further details on heritage assets, legislation, planning policy and guidance is provided in the Heritage and Townscape Statement. This also includes detailed heritage impact assessments of the proposals with reference to the relevant legislation and policies (Heritage Statement – Part 2- Impact Assessments and Conclusions).



- UNESCO World Heritage Site boundary
- - - New Town Conservation Area
- Site location



### 3.2 Site description

The Jenners Building is located between St Andrew Square and Princes Street, occupying a prime position overlooking the neighbouring Scott Monument and Princes Street Gardens with further views towards the Old Town and castle.

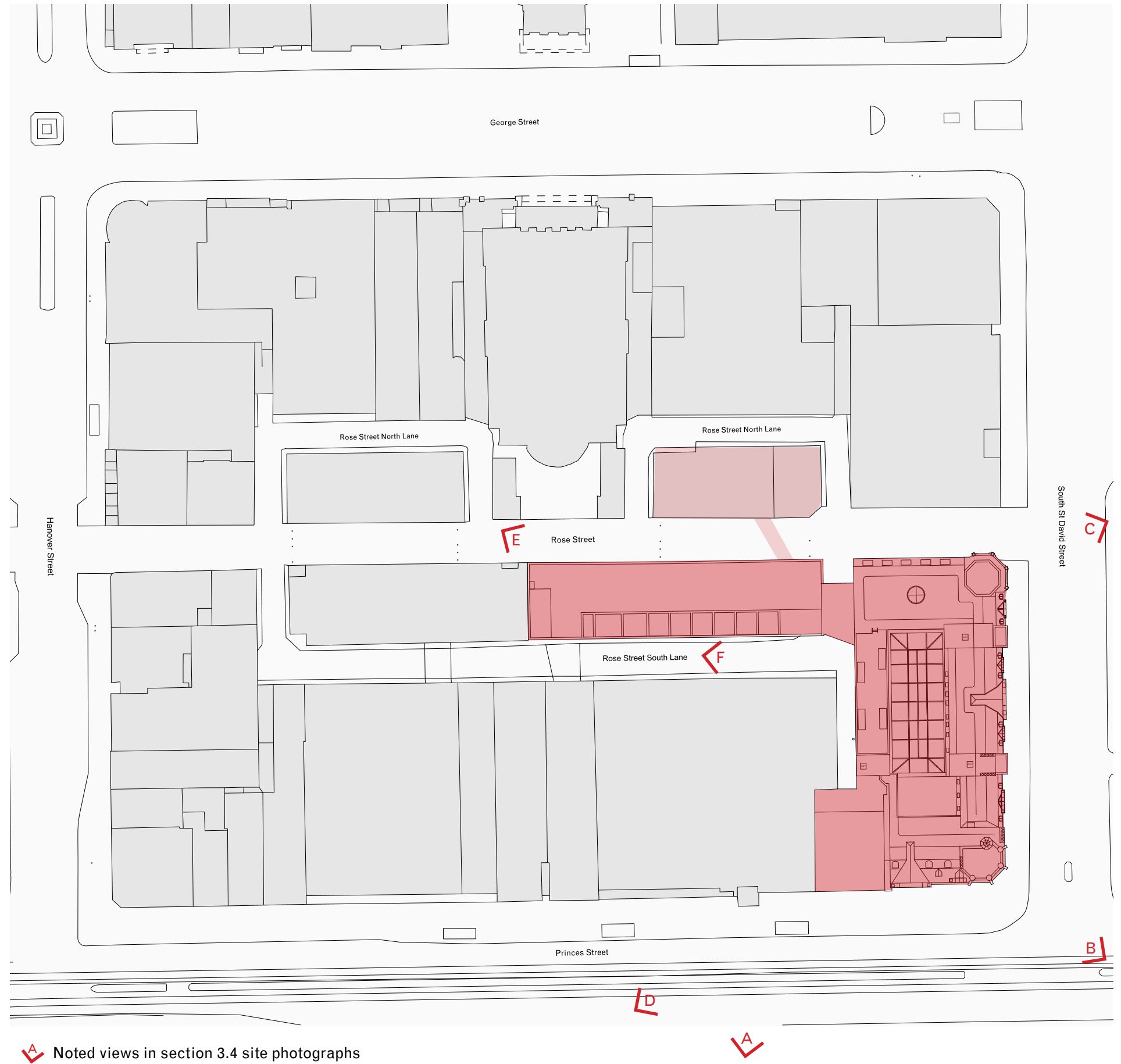


■ Site location



### 3.3 Location plan

The main orientation of the Jenners Building is towards Princes Street where the principal entrances are located. Further entrances of the existing department store are located on South St. David Street and Rose Street.





### 3.4 Site photographs



A - Site context from Market Street (The Mound)



B - View from junction of Princes Street and South Saint David Street



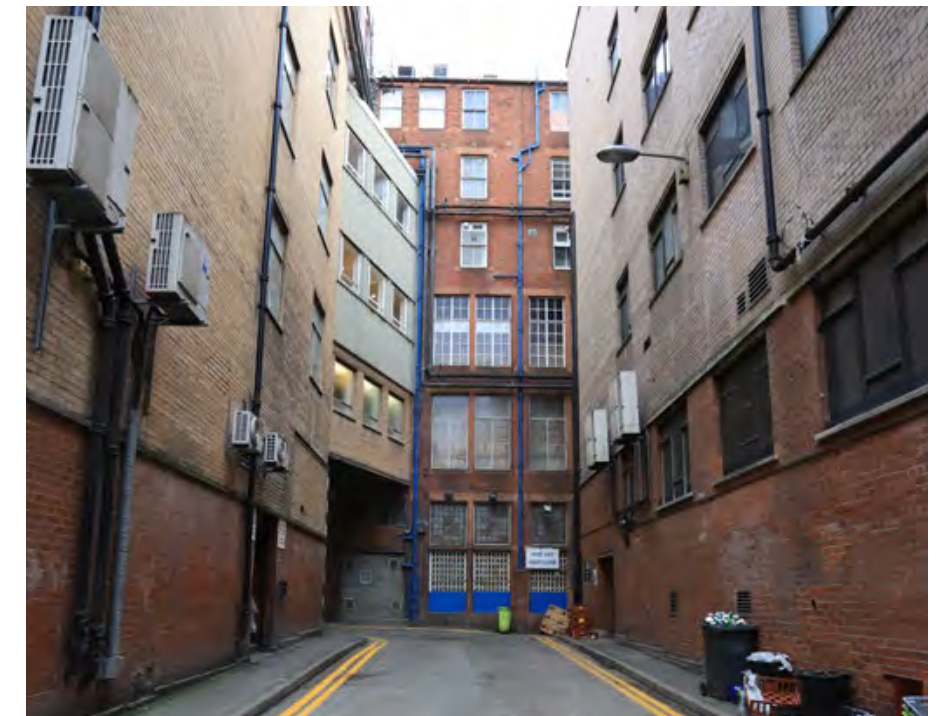
C - View from St Andrew Square



D - 1960's extension from Princes Street



E - 1960's and 1970's building from Rose Street



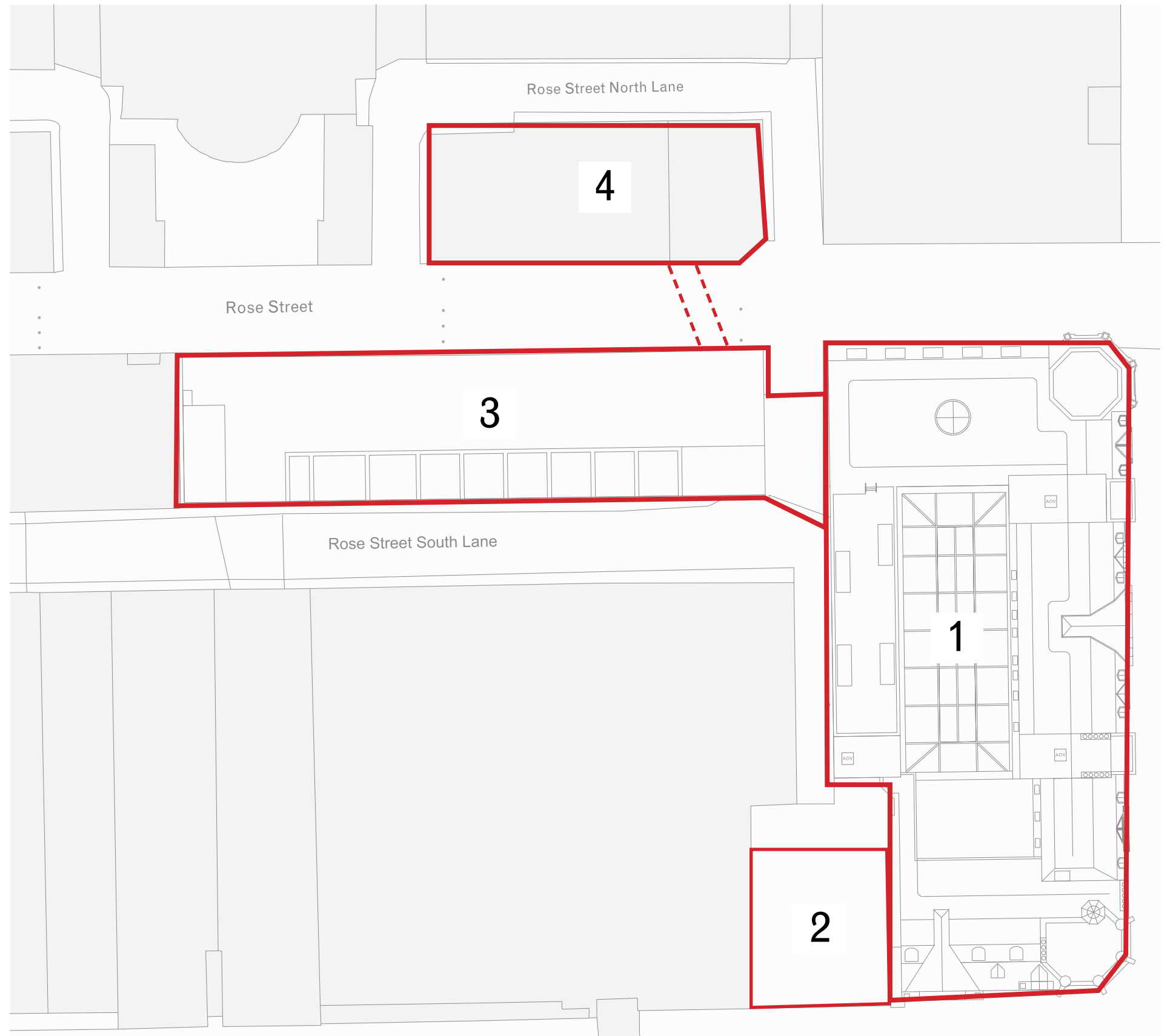
F - Rose Street South Lane servicing road



### 3.5 Building zones

The Jenners Building has been developed and extended many times since its opening in 1895. The design and access statement details the proposal as a singular entity, however there are four distinct zones of the building and these will be referenced to as below:

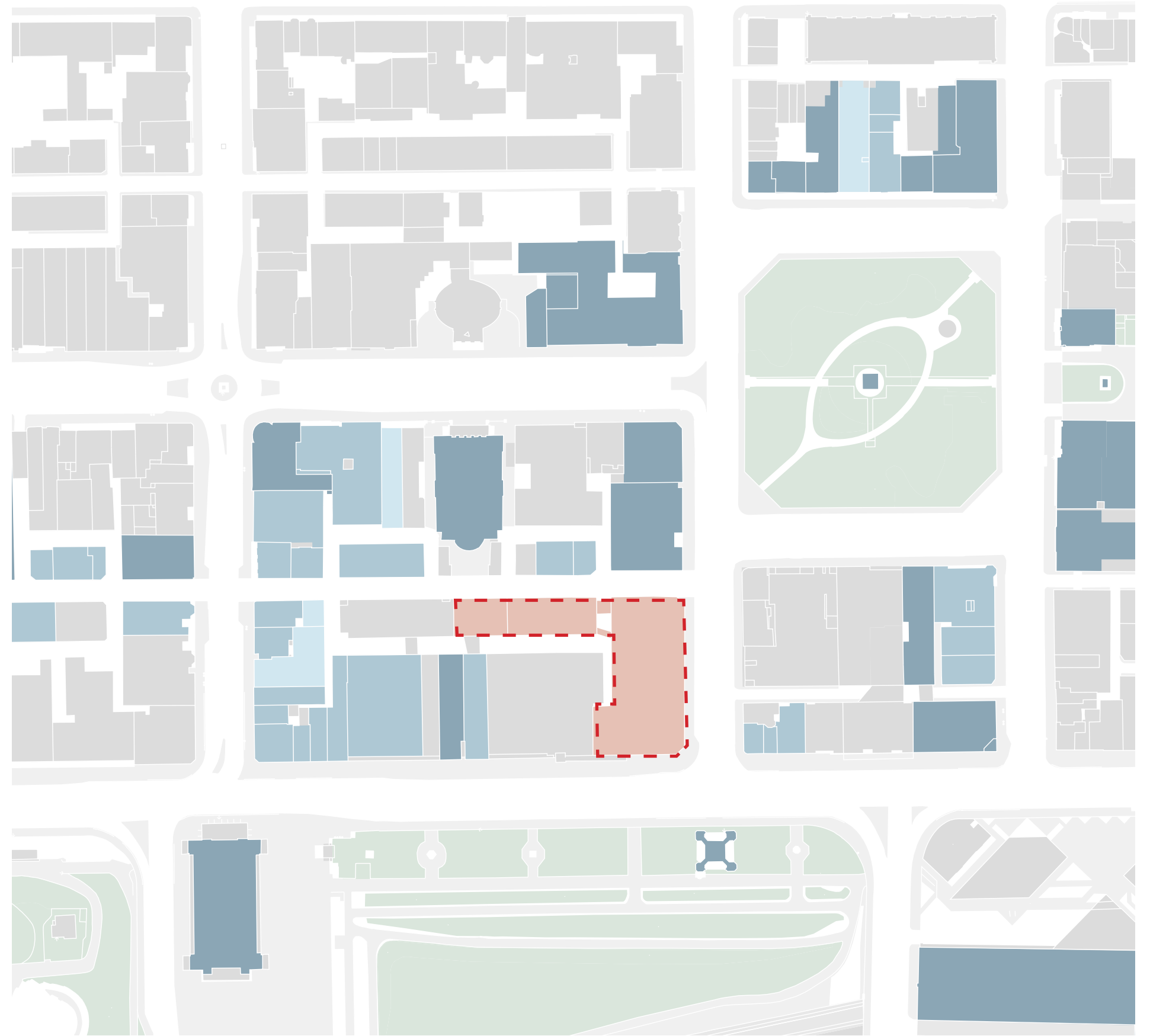
1. William Hamilton Beattie building (original 1895 building and 1905 'north block' extension - both referred to as the 'historic building')
2. 1966 Princes Street extension
3. Rose Street building
4. Abbotsford Building (this is an existing service route, accessed via Rose Street North Lane, that comprises a small ground floor loading bay connected to a basement, linked via tunnel to the Rose Street building)



### 3.6 Surrounding listed buildings

As part of Edinburgh's New Town Conservation Area, the Jenner's building is located in an area that is ingrained within a rich mix of listed buildings.

- category A listed
- category B listed
- category C listed

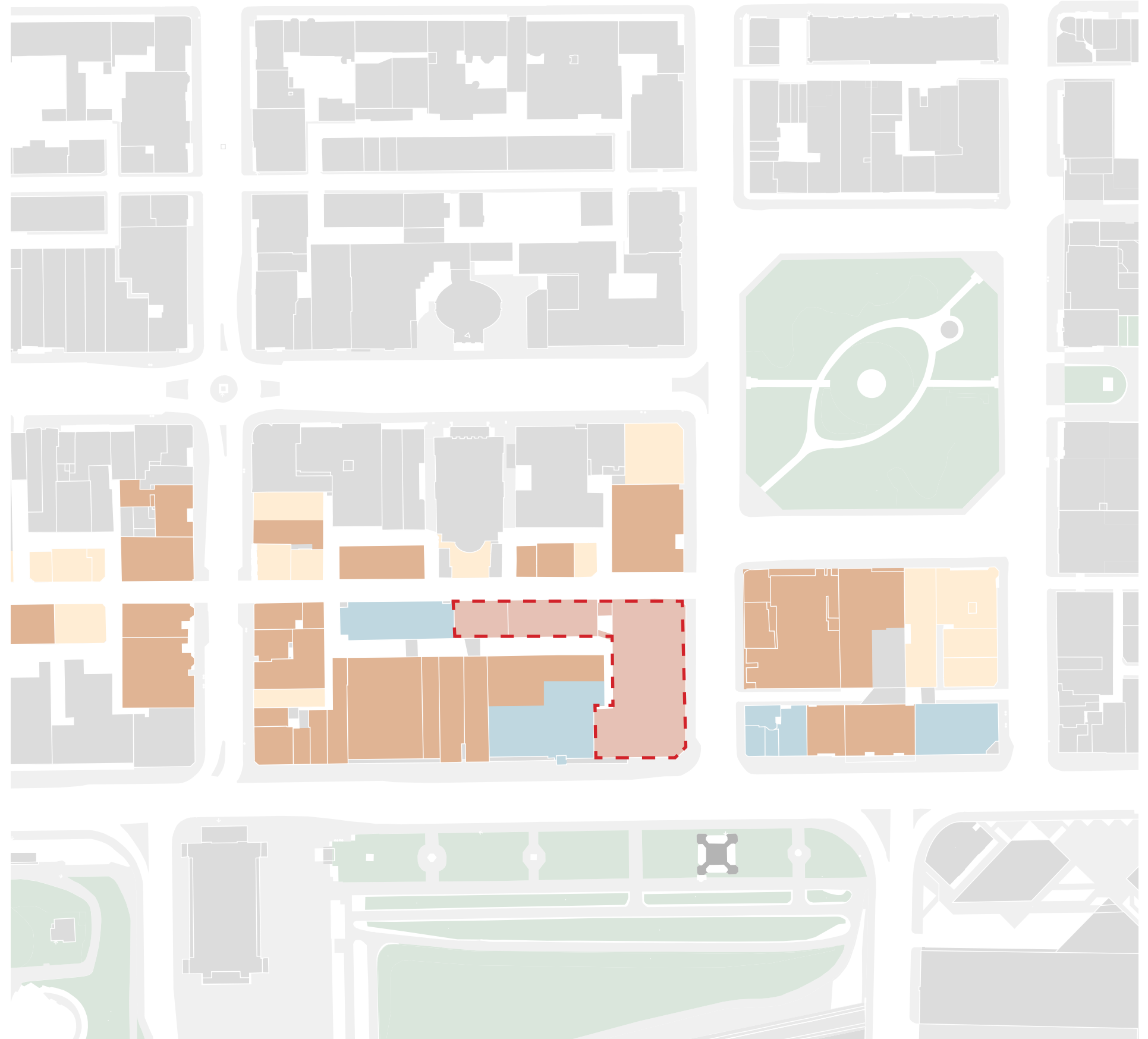


Listed buildings on Jenner's urban block, Rose Street and St Andrews Square

### 3.7 Surrounding building typologies

The site is within the commercial centre of Edinburgh and is predominantly surrounded by retail, food and beverage outlets, hotels and offices.

Notably, Princes Street is defined by large retail premises in the basement, ground and lower floors. As highlighted in the map opposite, it is typical for the upper levels to have a separate use, often as a hotel.



- food and beverage
- retail
- retail with hotel above

Ground floor building uses on Jenner's urban block and Rose Street

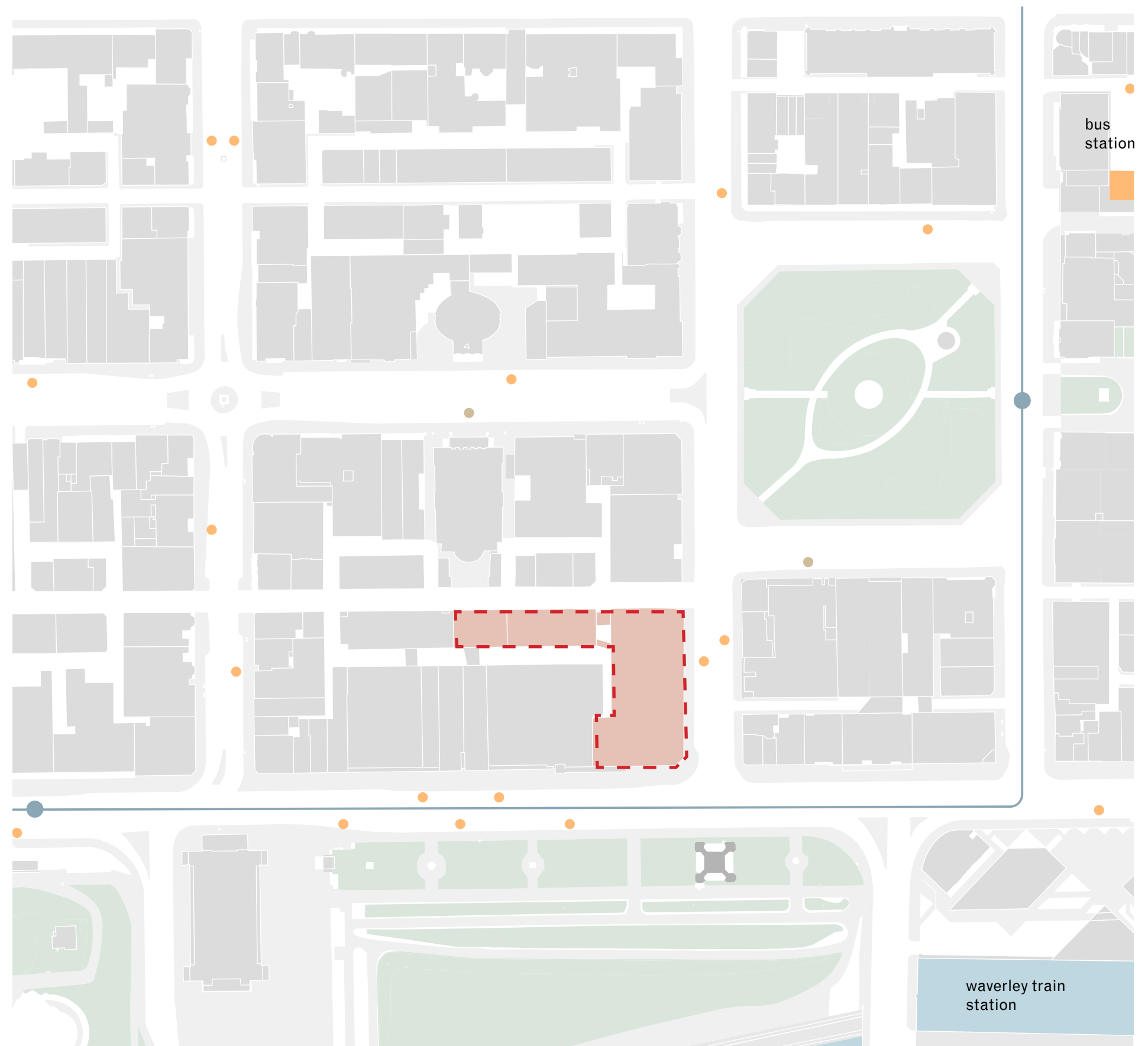
### 3.8 Transport links

The site's central location provides an enviable series of pre-existing transport connections for visitors and staff. Its prime position benefits from excellent transport links including multiple bus stops, the Central Bus Station, Waverley Station and tram stops on Princes Street and St Andrew Square. The new St. James Quarter development to the east will also provide over 1,600 car park spaces within a 5-10 minute walk.

This established transport infrastructure is ideal for a public building in a city centre location and will enable it to be easily accessible for all it's users.

Further transport information and details of cycle parking can be found in the Transport Statement and section 11 - Technical Coordination.

- tram
- bus stop
- train
- taxi rank



Public transport infrastructure





## 4. History and heritage

## 4.1 Building history

Founded in 1838, the Jenners Building continued 180-year presence on Princes Street, has made it one of the oldest department stores in the world to continuously trade from the same site.

The Jenners Building has been trading from Princes Street since 1838 when Charles Jenners and Charles Kennington first opened Jenners & Kennington. Jenners expanded progressively along South St David Street during the nineteenth century.

The town houses originally occupied by the store were devastated by a large fire on 26 November 1892 with the loss of buildings and goods valued at a quarter of a million pounds at the time.



Jenners ca. 1870



Jenners Department Store Fire ca. 1892

Following the devastating fire, a purpose-built and fireproofed replacement store was developed by Charles Jenner and Company on the cleared sites at the corner of Princes Street and South St David Street.

The current grand Victorian building was opened in 1895 and designed in Renaissance style by the renowned Scottish architect William Hamilton Beattie.

It is significant to note that this was prior to similarly important buildings such as Harrods (1905) and Selfridges (1908) in London.



Jenners ca. 1895  
© Courtesy of HES (Bedford Lemere and Company Collection)



The Jenners department store was highly acclaimed when it opened as the largest department store in Britain and introducing technical innovations such as electric lighting and hydraulic lifts.

It was developed following the latest European trends of retail as leisure pursuit. The richly decorated interiors and open atrium as well as the extensive use of daylight was at the time pioneering in retail building design.

Large open floor plates, picture windows for shop display and galleries with open spans and generous stairs, made possible by the introduction of steel framed construction in commercial buildings in the late nineteenth century, characterised the new shopping experience.

Over the centuries Jenners has become an important institution for Edinburgh and Scotland, a place of many shared and personal histories. It used to be known as “the most fashionable shopping centre of Scotland”.

The extensions to the building from the early twentieth century through to the 1970s indicate the success of the original store concept.

As with many other retail institutions, retail trade from the Jenners Building has suffered over recent years, particularly since the financial crisis and the high-paced evolution of online shopping.



Interiors Jenners ca. 1895  
© Courtesy of HES (Bedford Lemere and Company Collection)



Please refer to Heritage and Townscape Statement (Part 1/Sections 2-5 – which provides detailed description of the historic and architectural development of Jenners and its historic context).

This includes original building proposal drawings, and a large set of around 25 historic photographs taken by Henry Bedford Lemere in 1895 of the retail areas and exteriors of the building (available from Historic Environment Scotland). These have been invaluable to our understanding of the original building and identifying original architectural concepts and hidden details.



1902 advertisement  
Image held at the National Record of the Historic Environment (Canmore ref: 1329235)

## 4.2 The Jenners Building now

The Jenners Buildings were built in several key stages between 1895 and the 1970s. With the exception of the Rose Street building, they are Category A listed. A detailed description for the listing can be found in the Initial Fabric Condition Report by Loader Monteith Architects (conservation architects) in Appendix 12.1.

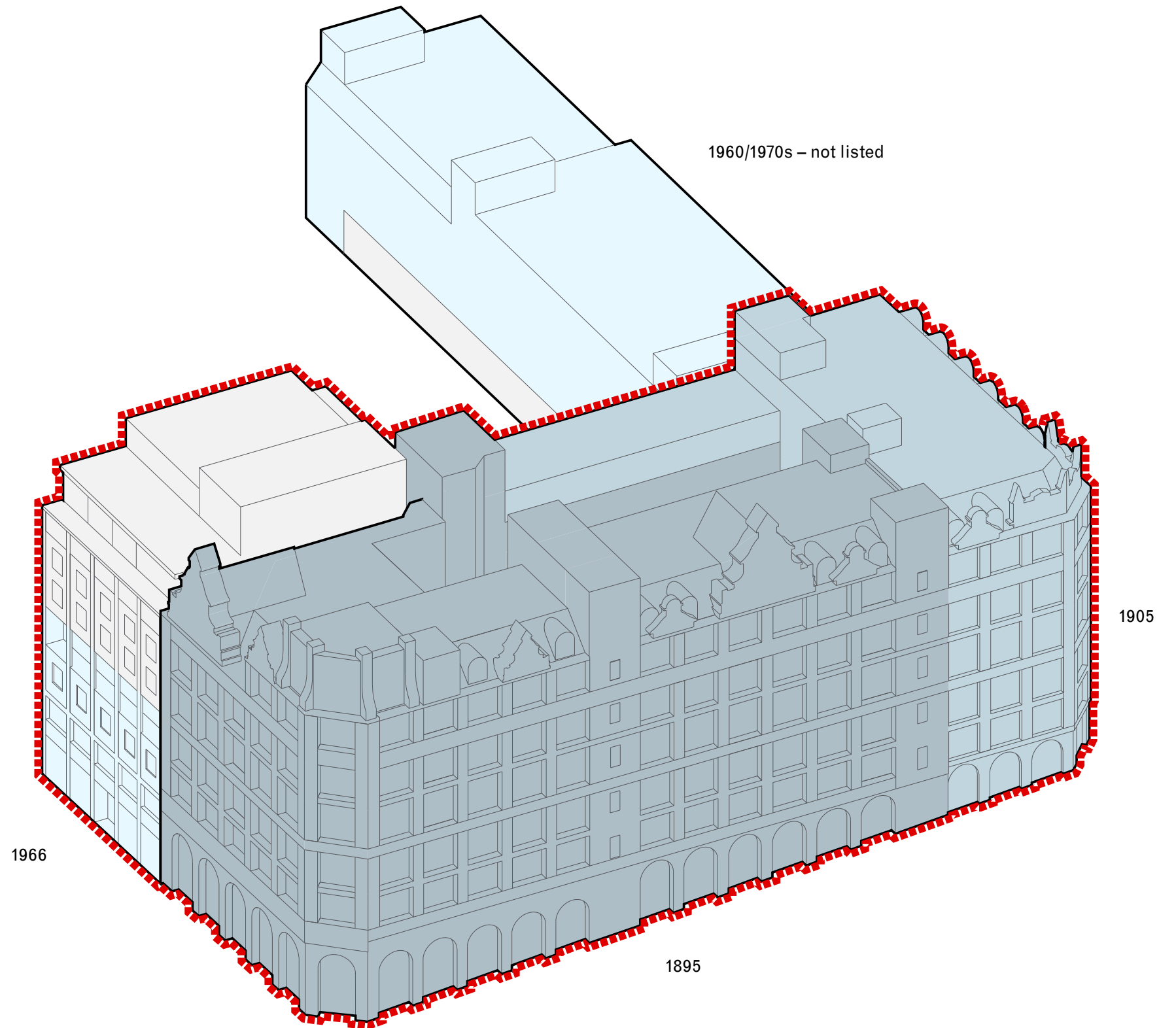
The centre piece of the department store remains the grand Victorian building opened in 1895. This was almost immediately extended in 1905 on the corner of South St David Street and Rose Street following the architectural style of the main building but with less decoration and ornamentation, assumed as it was considered a rear elevation at the time.

Continued expansion in the twentieth century led to further additions on Princes Street and Rose Street.

The building on Rose Street is linked via two bridges over several floors and was constructed in two parts around 1960 and 1977.

On Princes Street an elegant modernist building clad in Craigleith stone designed in 1966 by Architects Tarbolton & Ochterlony makes a difficult transition between Beattie's historic building and the former Mount Royal Hotel (now Mercure). The Jenners Building occupies this building from basement to second floor.

-  Category A listed
-  Not listed
-  1895 Development
-  1905 Development
-  1960-1970s Development



### 4.3 Existing building photographs

The Jenners Building is a much-loved institution for Edinburgh and Scotland, a place of many shared and personal histories.

The physical fabric of the store has declined, with many of the original features lost or altered as can be observed in the comparative photographs on the following pages.

Our clients have recognised the significance and tradition of the Jenners department store and are invested to extend its illustrious history.



## Princes Street façade



1895  
© Courtesy of HES (Bedford Lemere and Company Collection)

The William Hamilton Beattie 1895 Jenner's Department Store, is neighboured by 19th century Mount Royal Hotel (now the Mercure Hotel).



2021

The most notable change is the demolishing of the Mount Royal Hotel in the 1960's to form a new building, that comprises of the Jenner's Department Store in basement to level 02, with Mercure Hotel rooms on the floors above.

The Jenner's building on Princes Street is largely as it was originally. A new pavement on Princes Street has unfortunately built over the historic pavement lights that gave natural light into the basement.



## The atrium



1895  
© Courtesy of HES (Bedford Lemere and Company Collection)

Photograph looking towards the North side of the Grand Saloon space.



2021

There are many changes to this key space. The grand staircase connecting ground and first floors has been removed; the atrium balustrade/ void has been extended and shape changed, resulting in the addition of two columns to support the infill; the arched colonnade to each side has had decorative plasterwork removed and the non-structural central columns removed.



## The gallery retail space



1895  
© Courtesy of HES (Bedford Lemere and Company Collection)

Photograph looking North on the second floor retail space to South St Davids Street. The space is defined by clean ceilings, natural daylight and a unified retail display.



2021

The present day photograph highlights several key issues with the existing building. Retail design through the 20th century adopted an internalised strategy to focus customers on products by boarding over all external windows. This has resulted in a very poor internal condition, with all lighting from uncoordinated luminaries. Secondly, the service integration has been added in an ad-hoc manner and is all surface mounted, with little consideration to the historic fabric.



## The main entrance on Princes Street



1895  
© Courtesy of HES (Bedford Lemere and Company Collection)

Photograph from the Princes Street entrance on the ground floor, looking towards a staircase that leads to the Grand Saloon and up towards the mezzanine Tea Room and skylight.



2021

Perhaps the most notable change of space, the mezzanine void and skylight has been in-filled with a floor slab to create additional retail space on upper levels. The original terrazzo floor has been tiled over, as well as the marble staircase. The room has a dropped ceiling throughout, that has resulted in the removal and cutting out of original plasterwork and corning. The changes have resulted in the loss of all natural light.



## The mezzanine, historical tea room



1895  
© Courtesy of HES (Bedford Lemere and Company Collection)

Photograph from the mezzanine floor tea room, looking towards Princes Street. A playful use of mirrors on columns and around the arched windows, bounces light around the space, creating a greater sense of space and adding to the highly decorative interior.

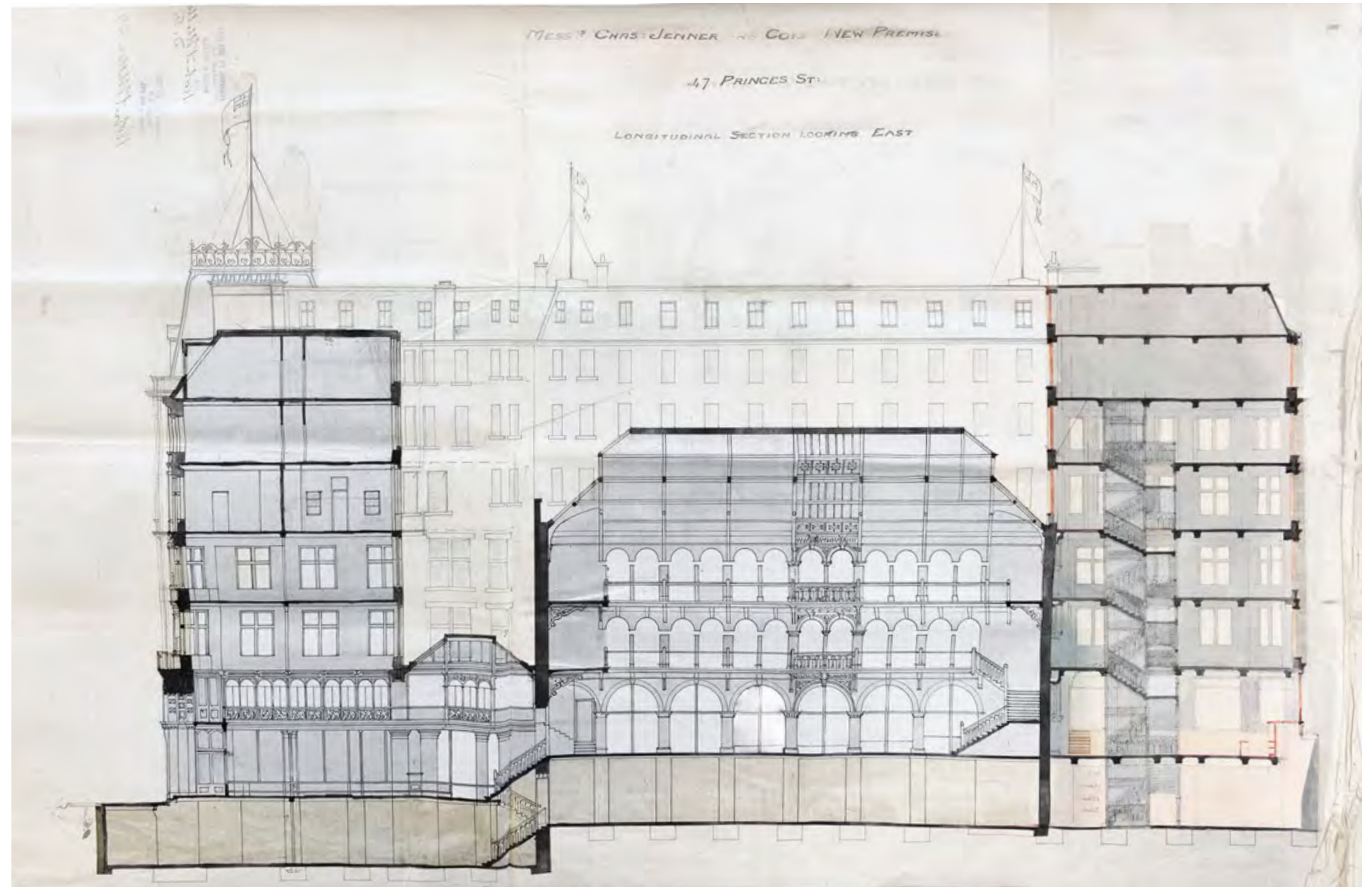


2021

As described in the previous page, the mezzanine void, balustrade and skylight have all been lost. Retail fit-out has covered most of the arched windows to Princes Street. Services have been bolted onto the decorative plasterwork ceiling, which fortunately remains in reasonable condition.

## 4.4 Historic research

The extent of survival of historic records, including original plans and sections, and historic photographs allowed thorough research of the building's history and the significance of remaining features. Analysis of the original drawings revealed a wealth of valuable heritage that has been lost over the years.



Historic section drawing through 1895 building and 1903 extension to the right



## 4.5 Heritage significance

Please refer to the **Assessment of Significance in the Heritage Statement: Part 1/ Section 6: Assessment of Significance (Turley)** for a full assessment of the heritage significance of the Jenners Building.

The following chapter is a brief overview of some of the remaining heritage features.

The key architectural components and features of each area are given an indicative significance rating in the building gazetteer prepared by Turley Heritage.

This has been provided to indicate their relative value as representative elements that contribute to the overall importance of the building, and their potential for change as part of the redevelopment proposals.

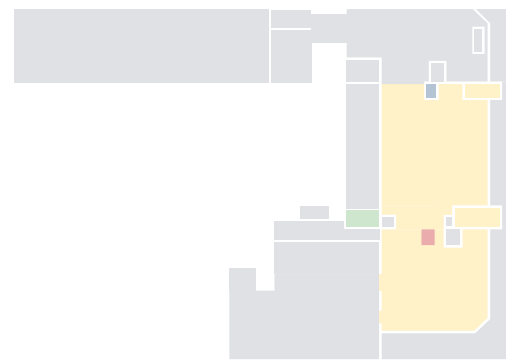
The significance ratings should be used as a guide to inform design proposals and will be used as a benchmark against which the development proposals will be assessed in relation to their impact on the significance of the building.

The categories for significance are described in the table to the right.

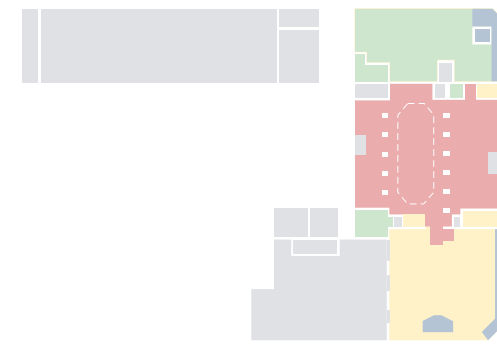
High significance	<p>A characteristic, feature or component that is of national interest, surviving in a largely original form and contributing to the importance of the building overall, or the element to which it is part. It may be an exceptional, or very good, largely intact or little altered example of a particular period, style or type. It will have rarity value.</p> <p>Potential for change - Limited potential for change or substitution/replacement. Proposals should seek to preserve and enhance features, components or elements following conservation-led repair and adaptation strategies. Opportunities to enhance significance should be sought.</p>
Moderate significance	<p>A characteristic, feature or component that is of regional or local interest that survives in its original form, or contributes to, but is not a key element to the importance of the asset overall, or has been altered such that its importance has been diminished. It may have been altered, but has some rarity value.</p> <p>Potential for change – Some potential for sensitive change and limited potential for substitution. Where significance has been undermined by alteration proposals should seek to moderately enhance or improve significance. Conservation-led repair strategies should be applied where appropriate.</p>
Low significance	<p>A characteristic, feature, element or component that is of local importance, reflecting the historic character of a building but with limited architectural interest, or has been altered to the extent that their historic or architectural interest and importance has been compromised. This is a typical characteristic or features of the a particular period, type or form and has little rarity value.</p> <p>Potential for change – Considerable potential for sensitive change such that the importance of the building overall is not compromised.</p>
Neutral significance	<p>A characteristic, feature, component or element that is of no architectural or historic interest such that it neither contributes to, nor detracts from the importance of the building overall. The loss would have no or negligible effect on the importance of the building.</p>
Negative significance	<p>A characteristic, feature, component or element that detracts from the overall importance of others. The significance of the building would be improved by its removal.</p>

Significance criteria - from Turley Heritage Report, assessment of significance

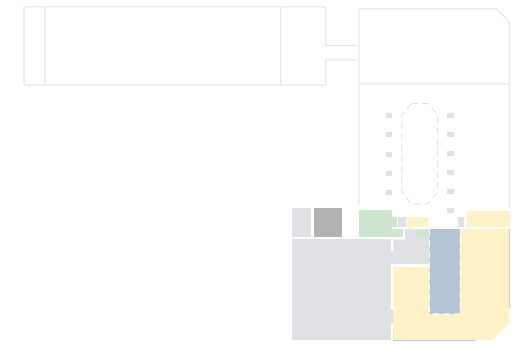
A detailed analysis of architectural significance has been carried out for each floor, highlighting elements which are valuable or detrimental to the status of the building. This section highlights some of the key elements with complementing photographs of the current building condition.



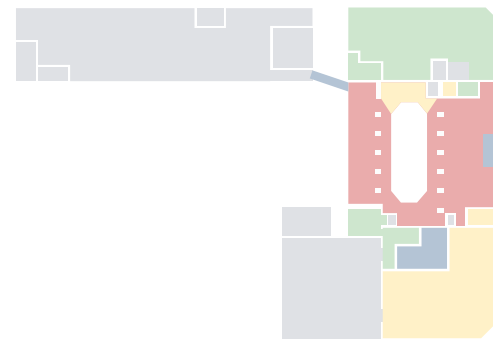
Basement plan



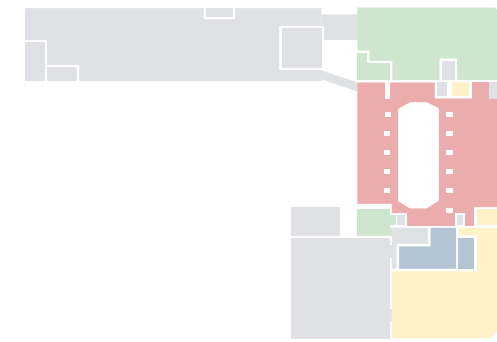
Ground floor plan



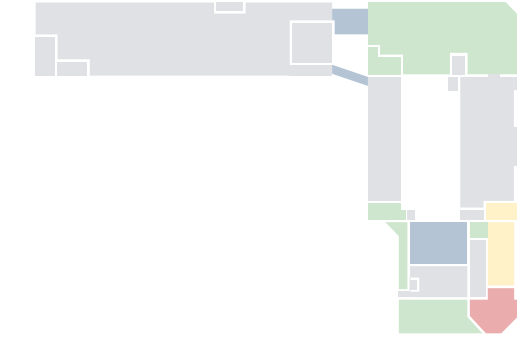
Mezzanine floor plan



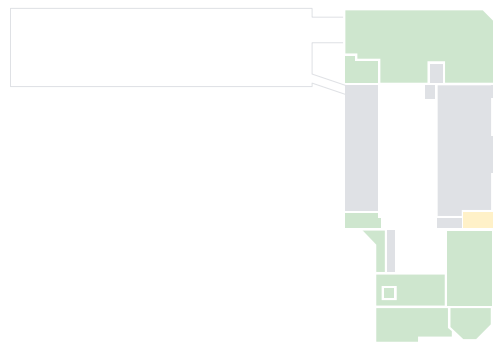
First floor plan



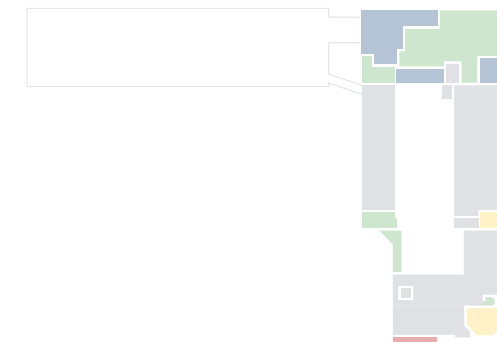
Second floor plan



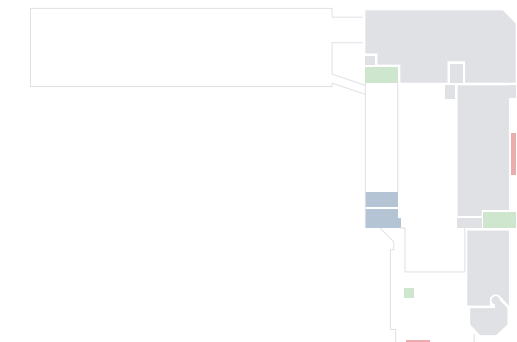
Third floor plan



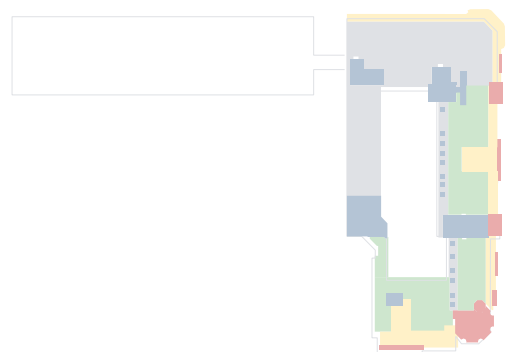
Fourth floor plan



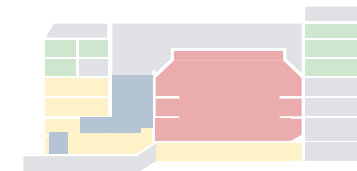
Fifth floor plan



Sixth floor plan



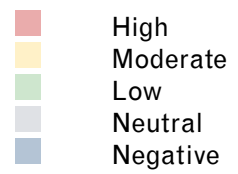
Roof plan



Longitudinal section



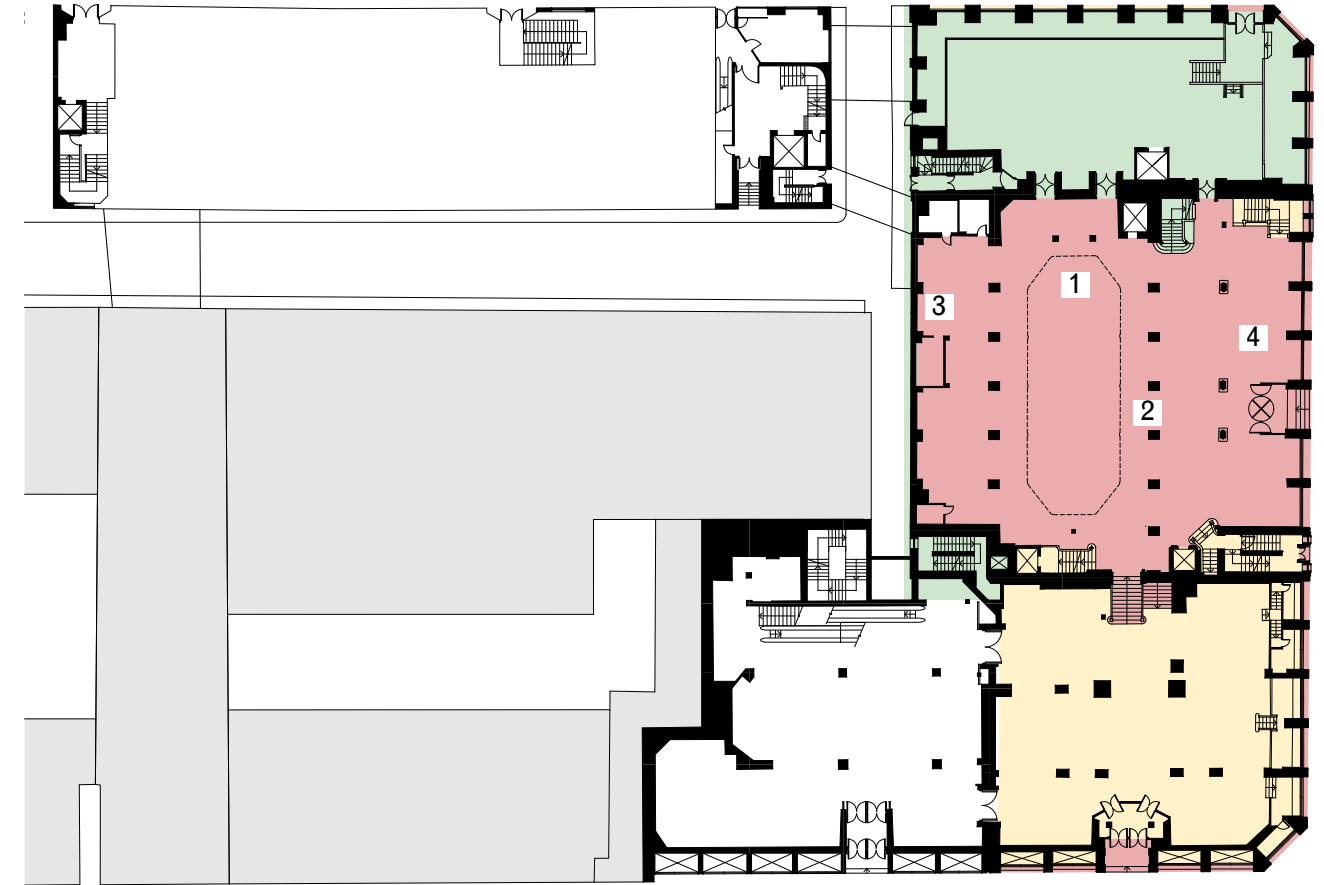
Cross section





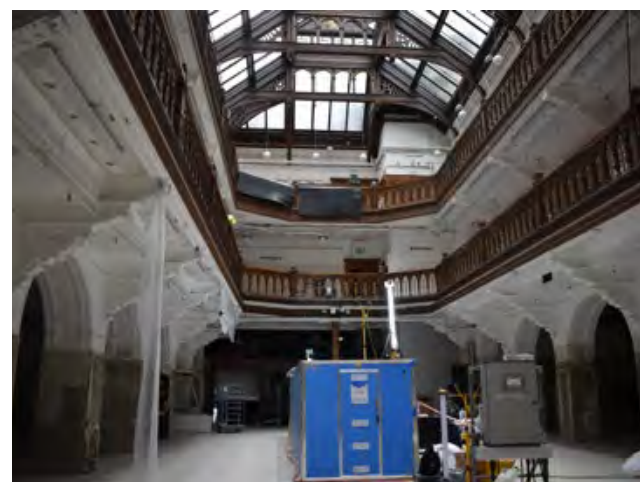
Ground floor features intact:

- 1 Grand Saloon has survived (with negative additions such as elevator shafts and floor infills)
- 2 Decorative plasterwork in places
- 3 Original lead windows with unique prism glass
- 4 Arched colonnade and coffered ceiling



Ground floor (existing)

- High
- Moderate
- Low
- Neutral
- Negative



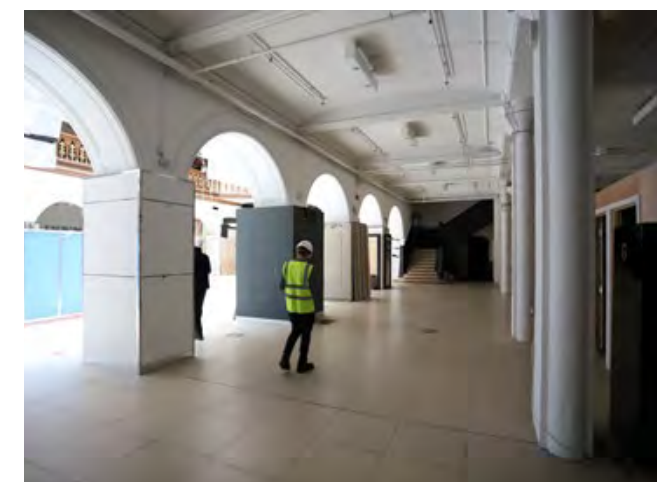
1



2



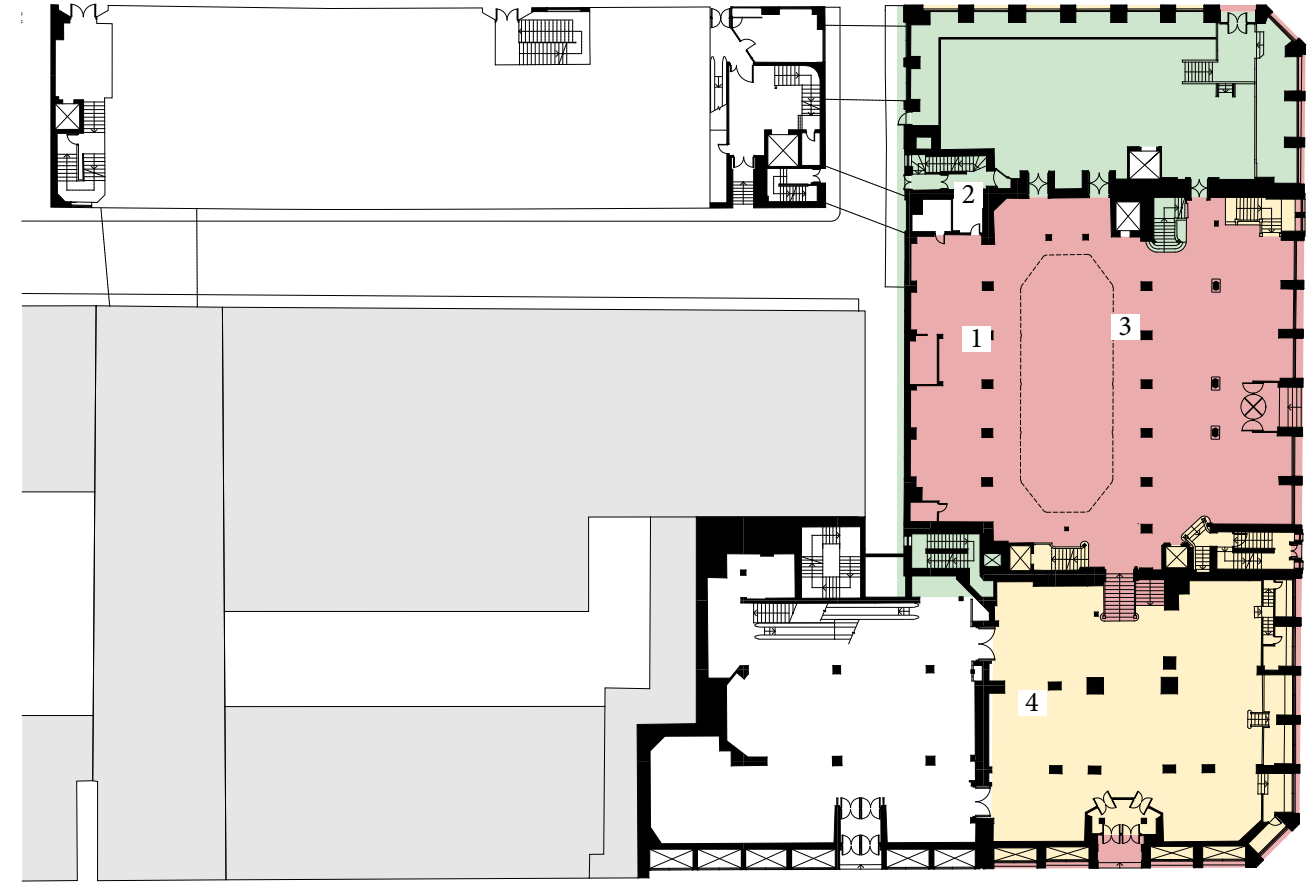
3



4

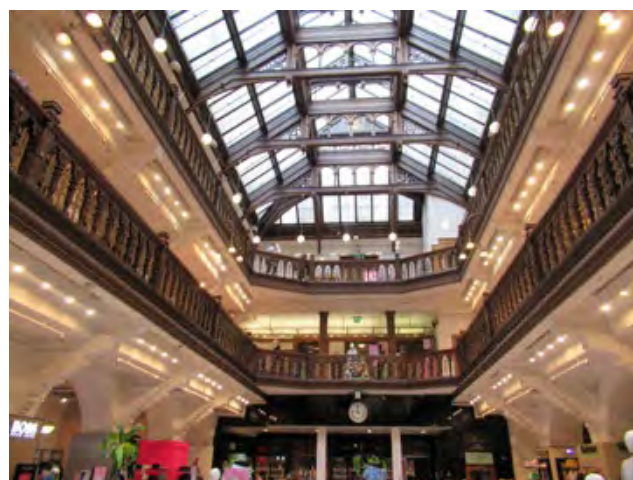
Ground floor features with detrimental impact:

- 1 Compromised lighting design and retail fit-out blocks windows removing most natural light
- 2 Added infill floor slabs around atrium, with associated added columns
- 3 Ad-hoc servicing strategy has left the interiors with an expanse of exposed pipes and cable routes
- 4 Terrazzo floor to 1985 Princes Street block has been tiled over

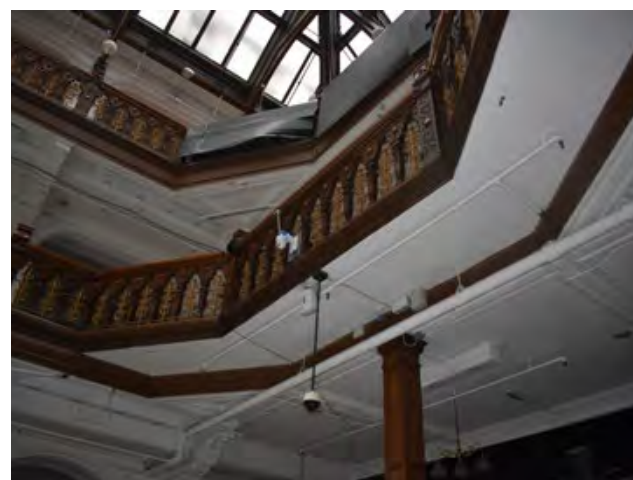


Ground floor (existing)

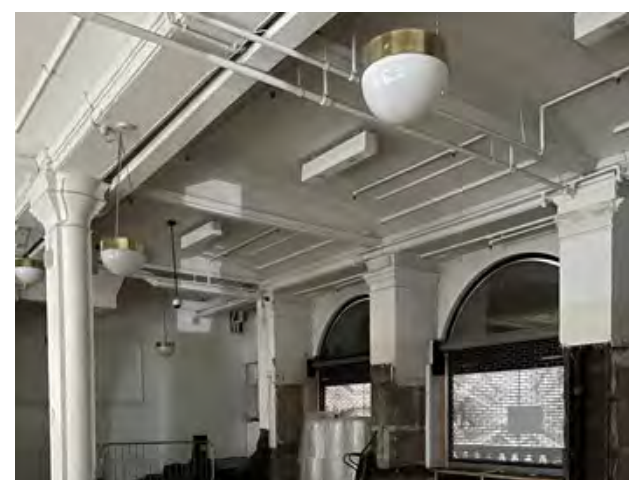
- High
- Moderate
- Low
- Neutral
- Negative



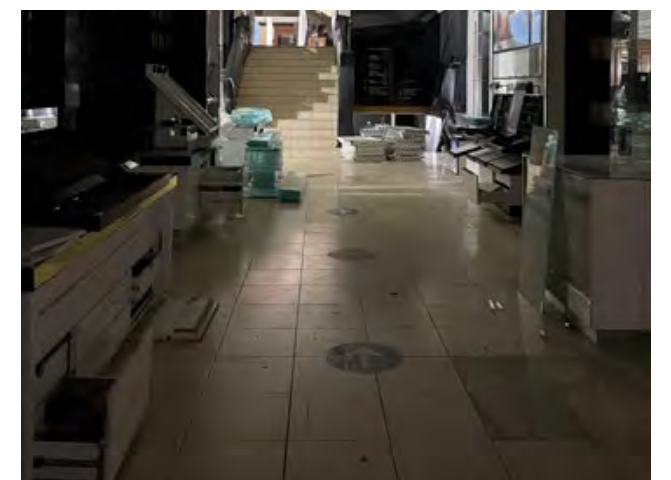
1



2



3

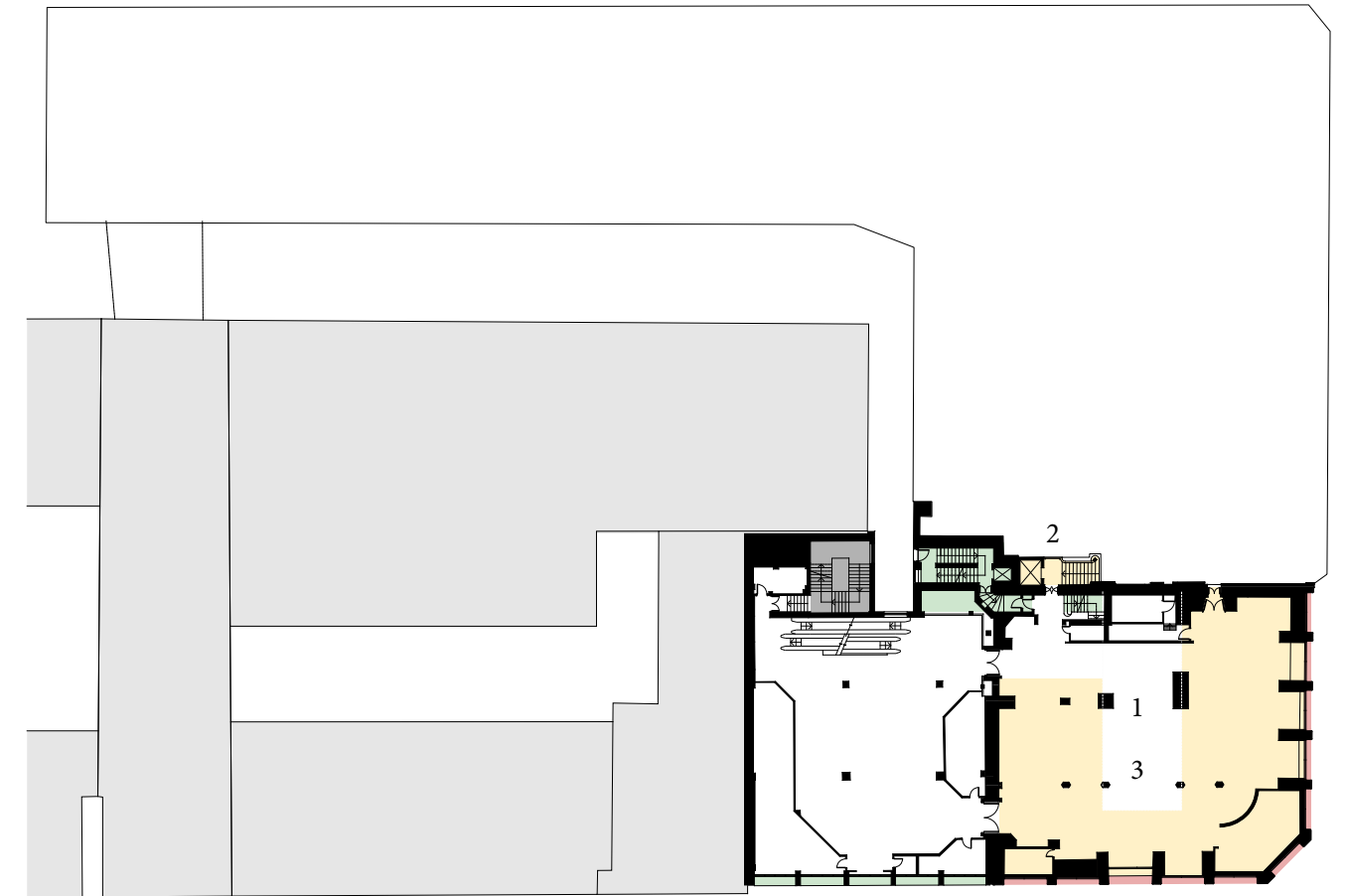


4



Mezzanine floor features:

- 1 Decorative plaster ceiling is relatively intact
- 2 Historic staircase remains although treads have been tiled over
- 3 Double height mezzanine space to ground floor and skylight has been infilled



Mezzanine floor (existing)

- High
- Moderate
- Low
- Neutral
- Negative



1



2



3

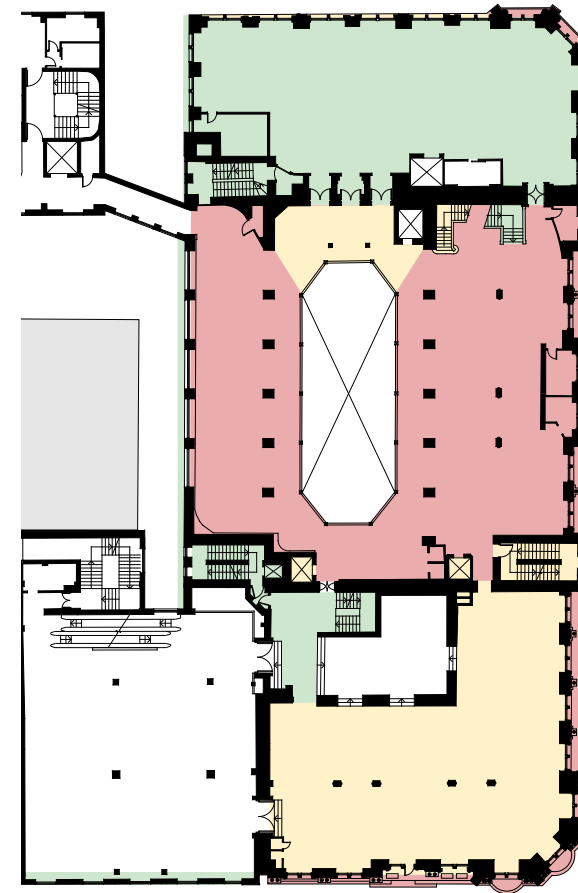


3

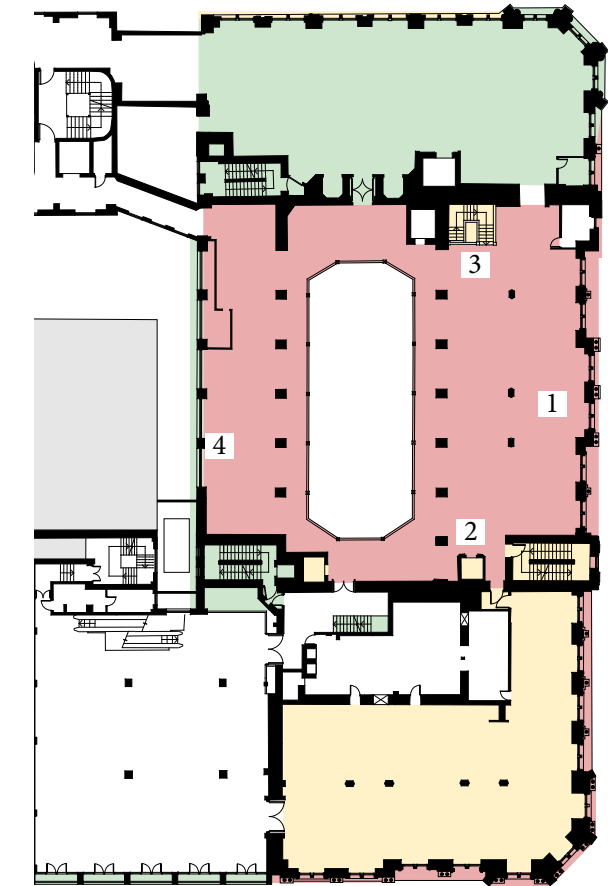


First and second floor features:

- 1 Historic columns, ceiling and windows remain (with exposed services and retail fit-out added)
- 2 Original elevator shafts, panelling and some ironwork remains in-situ, although much of the original 'birdcage' elevator ironwork has been removed
- 3 Stair between level 1 and 2 remains in its original location to the 1985 design
- 4 Various decorative panelling has been added in an ad-hoc manner with inconsistent detailing and application

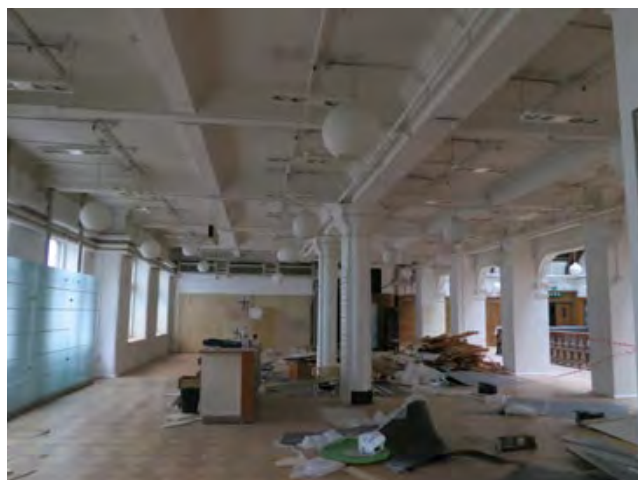


First floor (existing)



Second floor (existing)

- High
- Moderate
- Low
- Neutral
- Negative



1



2



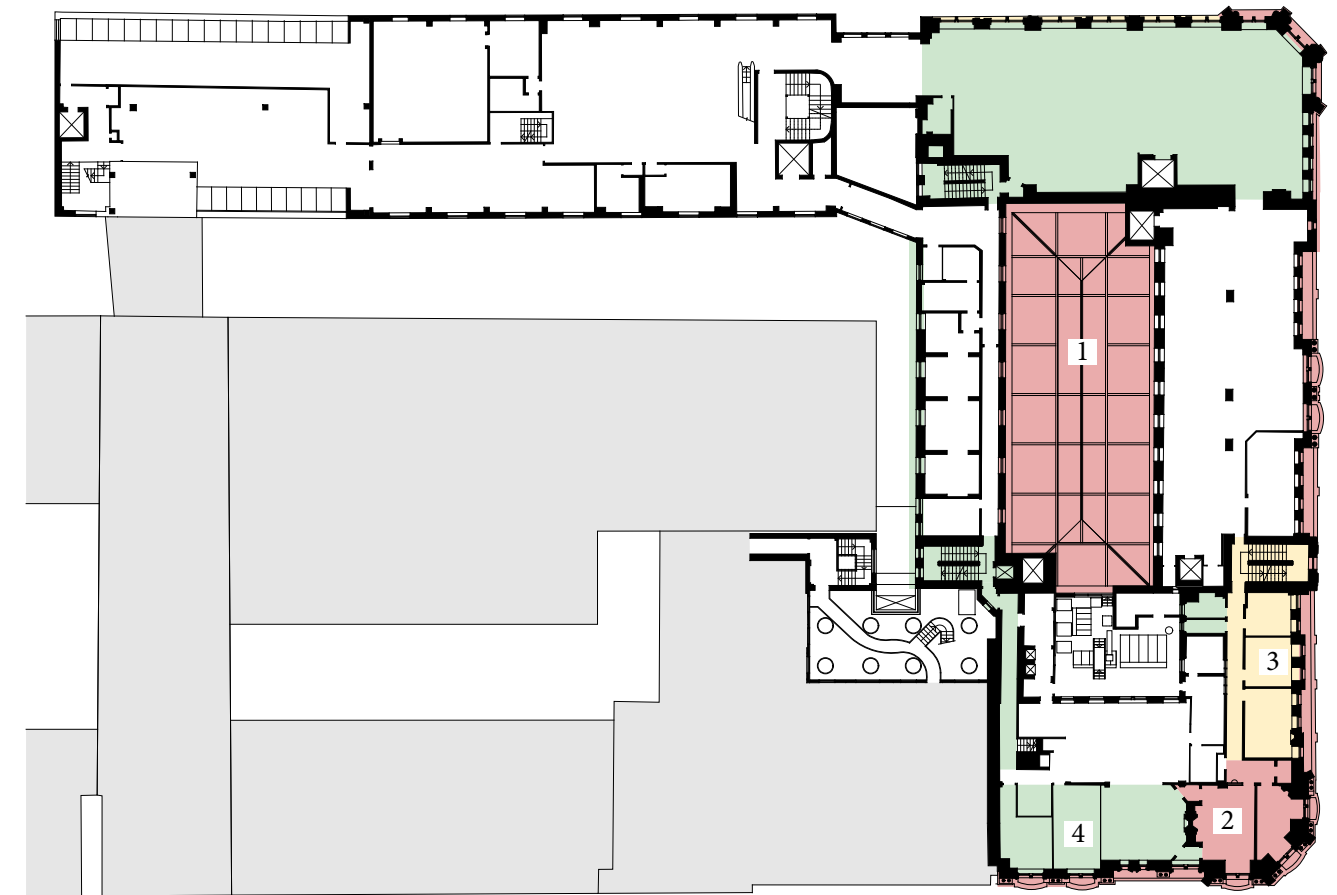
3



4

Third floor features:

- 1 Atrium roof - a steel structure clad in timber
- 2 Director's corner suite of rooms with highly decorative timber panelling and fireplace
- 3 Many original window surrounds remain on upper floors
- 4 Original parquet flooring is also present



Third floor (existing)

- High
- Moderate
- Low
- Neutral
- Negative



1



2



3

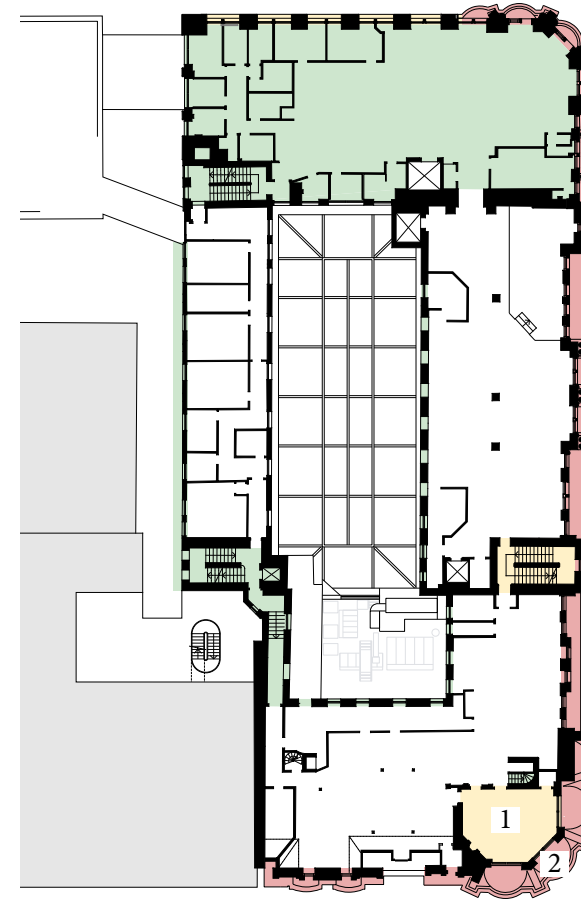


4

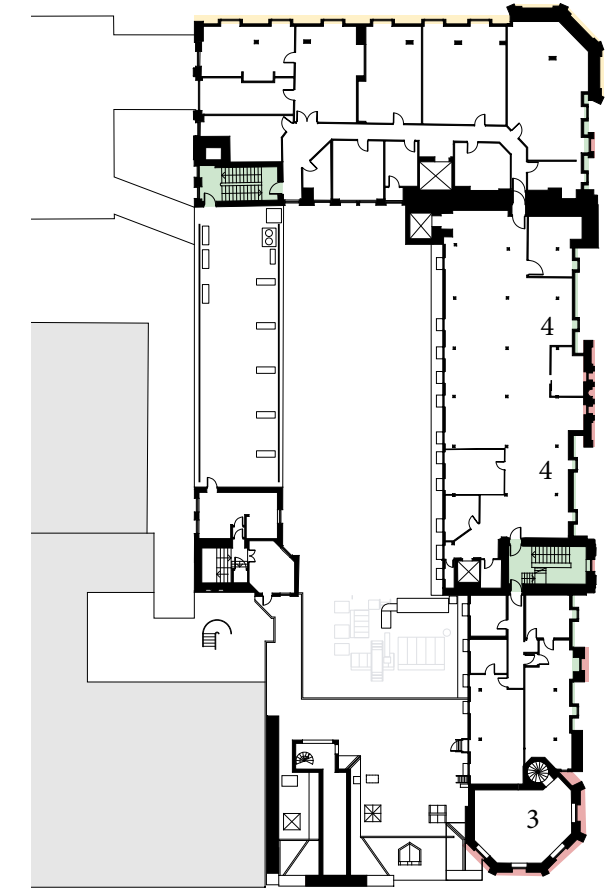


Fifth and sixth floor features:

- 1 Tower room on corner of Princes Street and South St David Street
- 2 Balcony accessed from corner room with views over Princes Street Gardens and the Old Town
- 3 Water tank room in sixth floor space above tower room, currently only accessible through internal spiral stair
- 4 Original dormer windows of varying style



Fifth floor (existing)



Sixth floor (existing)

- High
- Moderate
- Low
- Neutral
- Negative



1



2



3

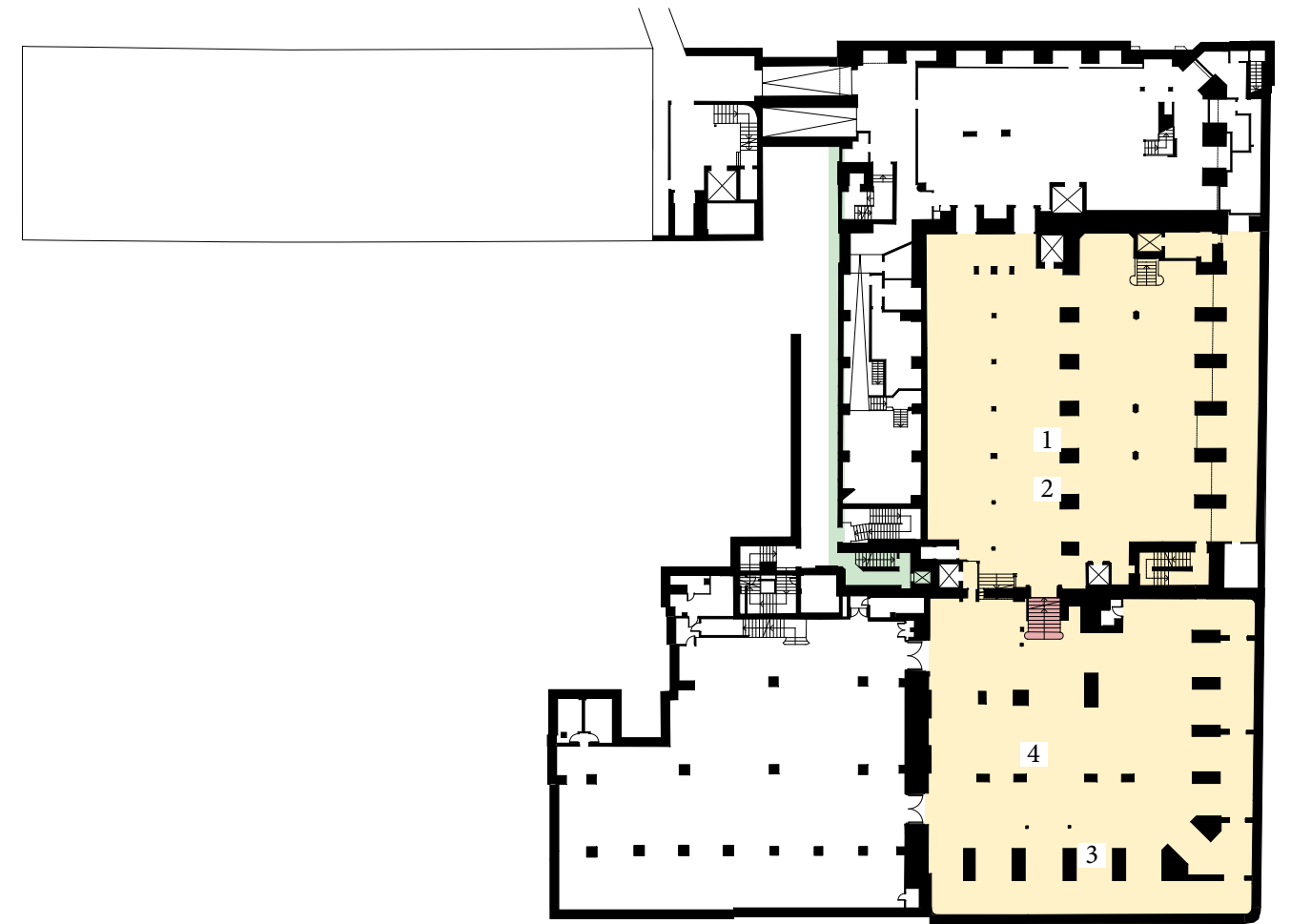


4



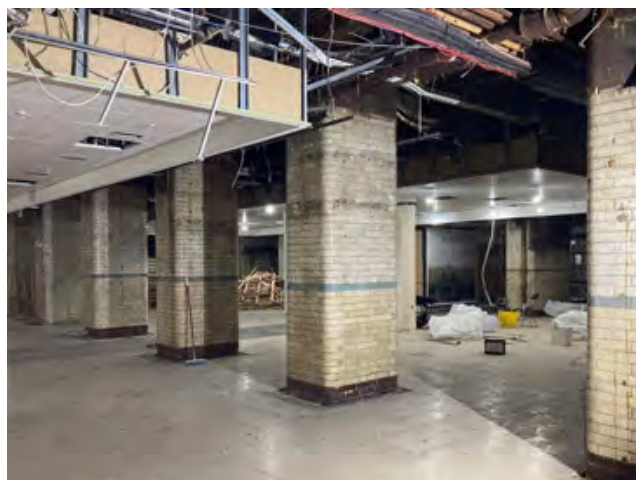
Basement floor features:

- 1 Glazed brick clad columns
- 2 Damage to glazed brick from retail fit-out
- 3 Historic pavement lights have been filled in and Princes Street pavement raised in level
- 4 Example of lost plasterwork around column where suspended ceiling has been added in the twentieth century



Basement (existing)

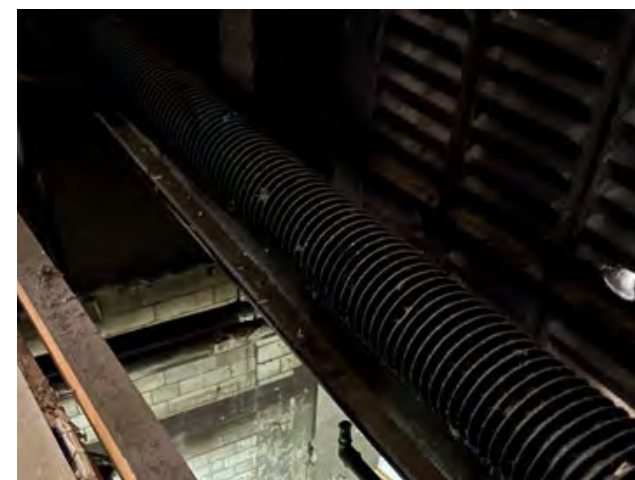
- High
- Moderate
- Low
- Neutral
- Negative



1



2

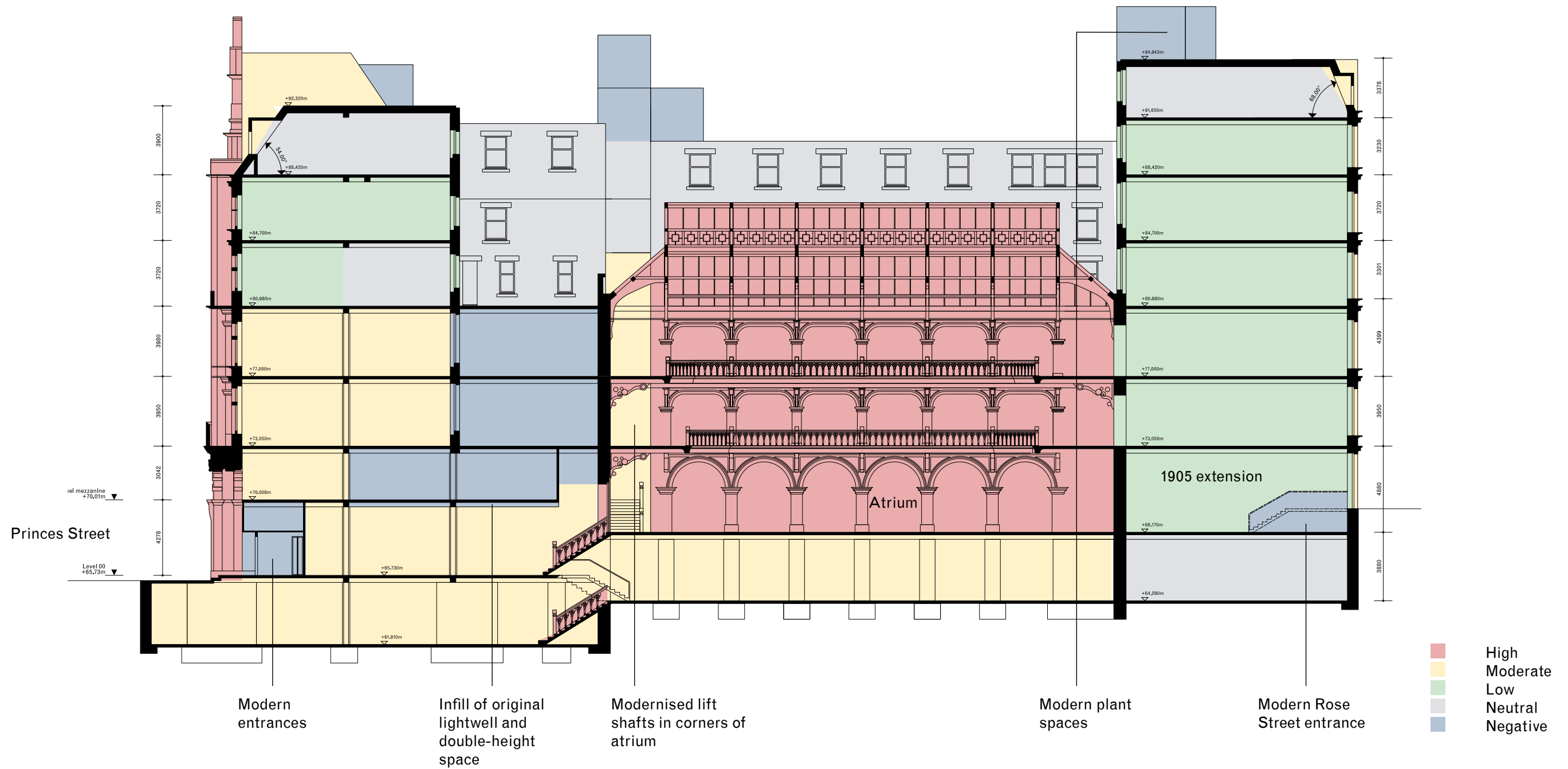


3

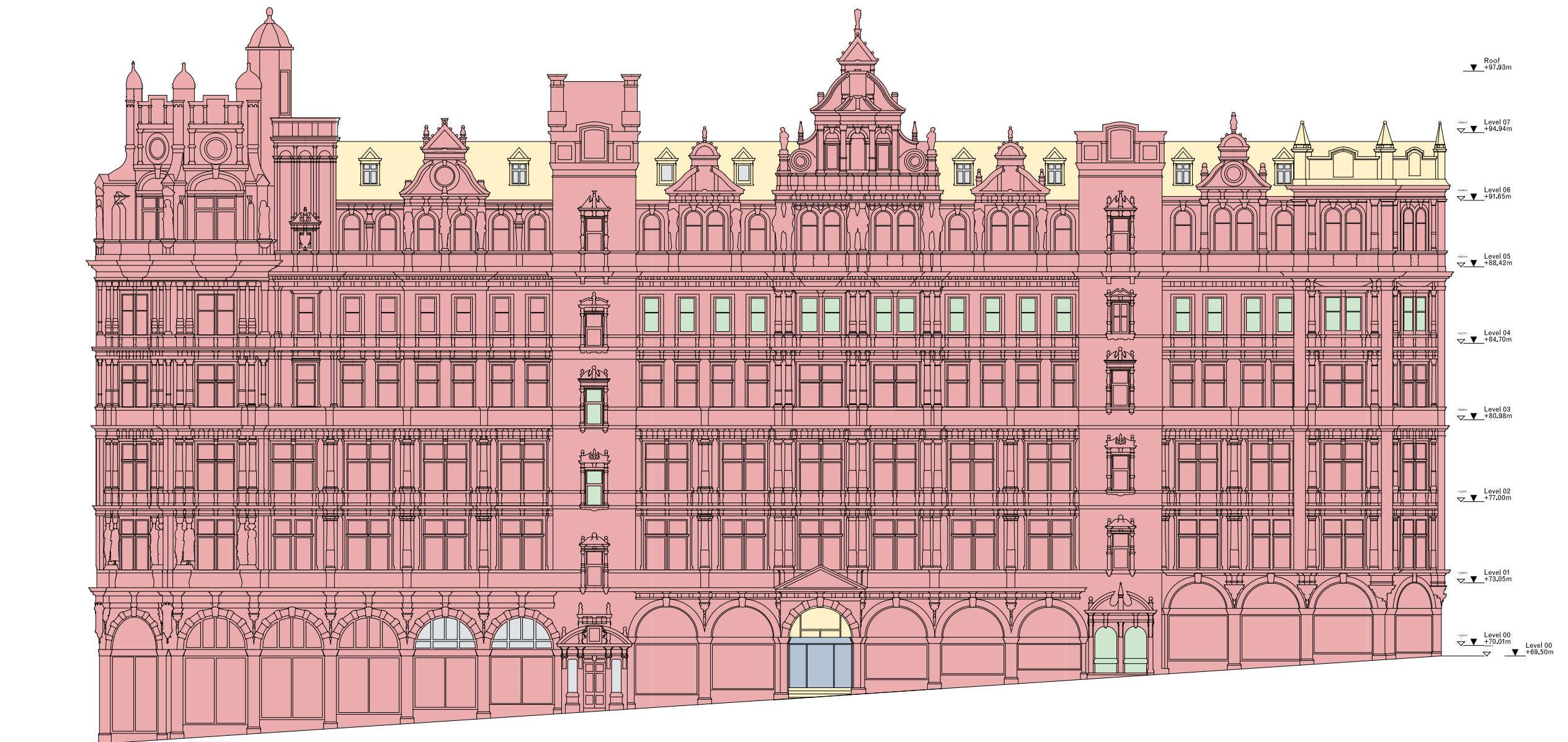


4

Section showing elements of high architectural significance, such as the atrium, and elements which have a negative impact, such as the infill of the original lightwell and mezzanine tearoom void.



Drawing highlighting the high architectural significance of most parts of the South St David Street elevation. The most significant alteration, and therefore low significance, pertains to altered windows on the fourth floor.



High significance  
Moderate significance  
Low significance



Drawing highlighting the high architectural significance of most parts of the 1905 Rose Street extension elevation. Notably this elevation was constructed with less ornamentation than the primary façades.



High significance  
Moderate significance  
Low significance

## 4.10 Fabric condition survey

Conservation architect Loader Monteith prepared a Fabric Condition Survey based on a series of non-intrusive inspections, which took place during August and September 2021. It records the findings of the condition of the exterior of the building as found and makes initial recommendations for the repair and conservation work.

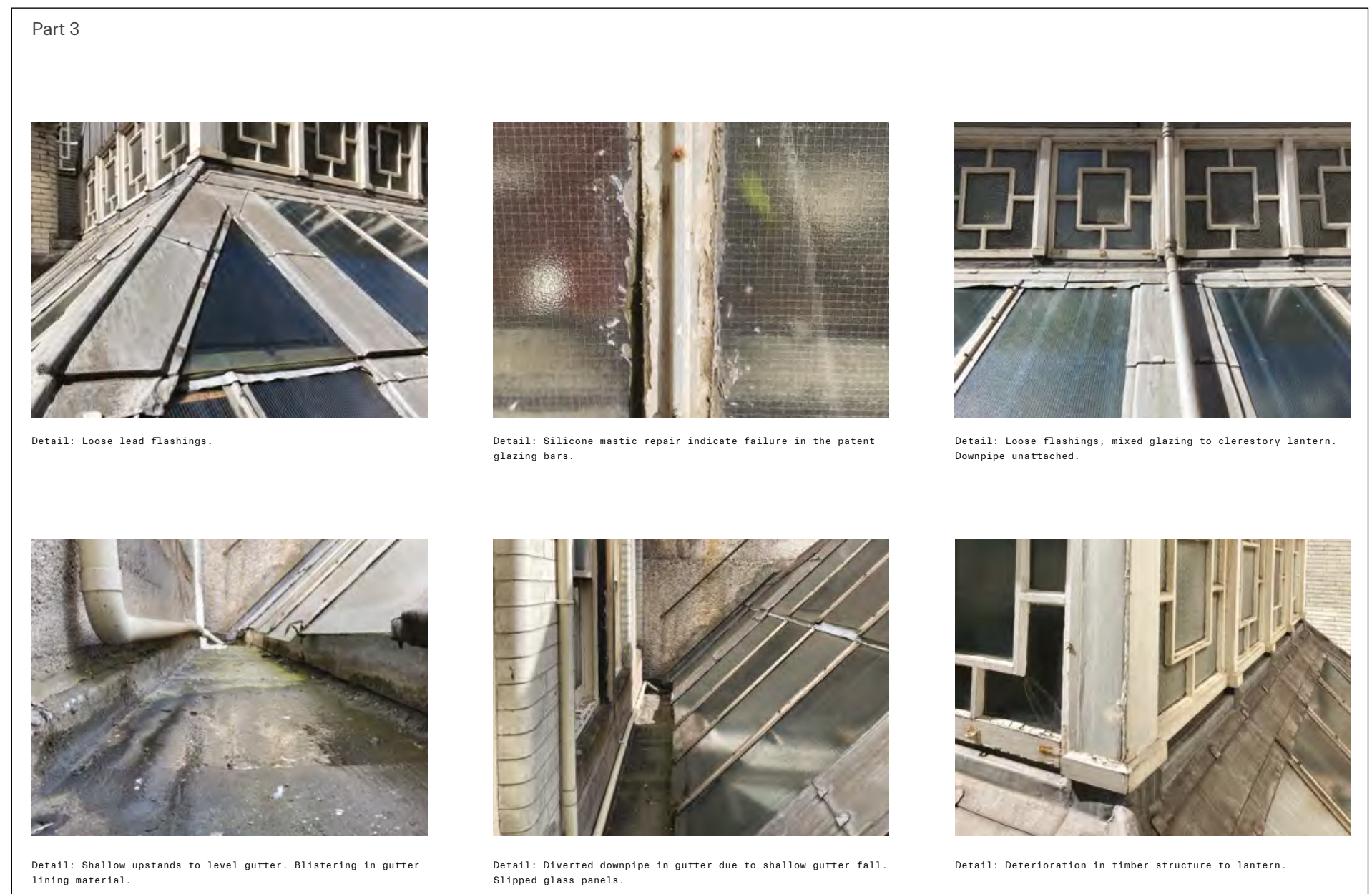
The report has been prepared to inform the proposals looking at the future development of the building and make an assessment of the repair and conservation work required.

For its centenary year in 1995, the building envelope underwent a significant restoration of its exterior. This included stone repairs, specialist statutory repairs, window repairs, shop window restoration and entrance repairs.

It is evident by its condition that much of this conservation work is being upheld, 25 years later, with the exception of isolated issues of deterioration in the stonework, areas of lapsed maintenance and materials which are reaching, or have passed, the end of their useful life.

In association with the proposed redevelopment a comprehensive programme of repair and conservation work is required to consolidate the existing fabric, reinstate missing elements, remove inappropriate alterations and make changes to the details.

See appendices 14.1 for the full Fabric Condition Survey.



Example page from Fabric Condition Survey, detailing the condition of the glazed atrium roof light





## 5. Constraints and opportunities

# 5.1 Constraints

### 5.1.1 Existing levels (barriers to accessibility)

The Jenners Building has a well connected central location, making travel to the building possible for all. However, the existing level conditions around the site make the current building difficult for the typical and ambulant disabled user to navigate and enjoy.

South St David Street, bounding the East of the site, has a 4m level change. Internally the floor plate has been split into two main levels (+65.7m to Princes Street and +68.2m to South St David Street and Rose Street). As can be noted in the adjacent plan, the level difference to the street at each of the entrances is mitigated through between two and nine steps. Combined with a somewhat ad-hoc vertical circulation via a combination of historic stairs from 1895, amended stairs from 1905, contemporary stair and escalator additions, as well as four lifts with only one connecting all levels, the internal circulation has been noted as an issue in the pre-application meeting with Edinburgh Access Panel.

Please see the following page for photographs and a short description of each entrance.



Existing ground floor levels, with main public entrances highlighted red (photographs on next page)



## 5.1.2 Entrances

Both the 1895 historic entrance and the 1960s entrances on Princes Street have two steps, to overcome a 300-400mm level difference. South St David Street has four external steps and is located on a reasonably steep gradient and in close proximity to a bus stop. Rose Street has a level access entrance to a small mezzanine platform which is 1,200mm above the internal floor plate. This is mitigated by nine steps.



A - 1960s Princes Street entrance with 400mm level difference



B - 1895 Princes Street entrance with 300mm level difference



C - 1895 South St David Street entrance with 500mm level difference



D - 1903 Rose Street internal entrance view with 1200mm level difference

### 5.1.3 Other internal level differences

Jenners' internal character is partly defined by the split level nature of the building, resulting in a series of connected floor plates. These floor plate differences can be resolved through a good vertical transport and circulation strategy. There are a few areas of the building that have level differences that will need to have a local solution.

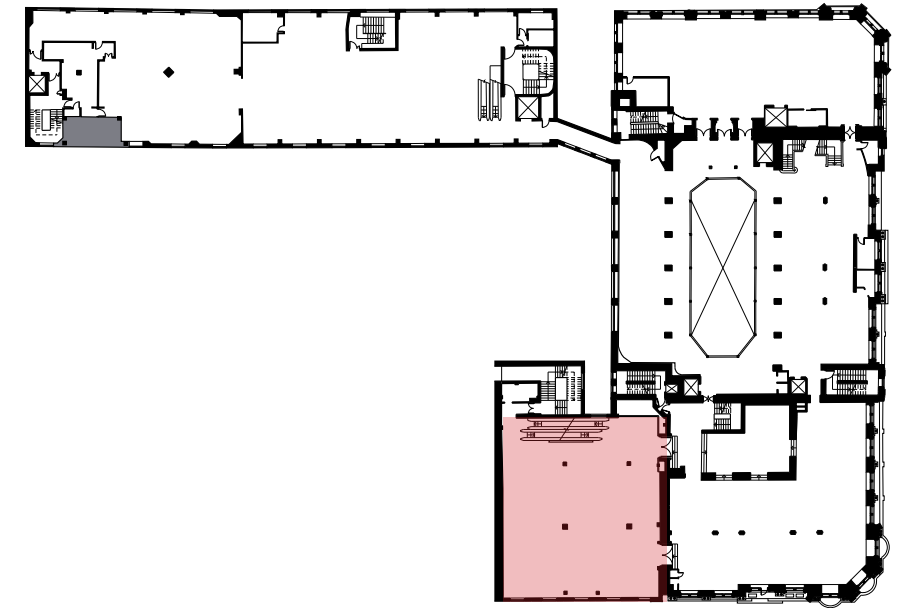
The basement is divided into two levels currently connected via a long ramp, at a steep gradient. This ramp is used for servicing and connects to a series of plant and store rooms.

Fortunately, other than the described split level nature of Jenners, the retail floor plates are all at consistent levels. The exception to this is the 1960s first floor level, which is around 450mm above the adjoining historic floor level. Access is via three steps.

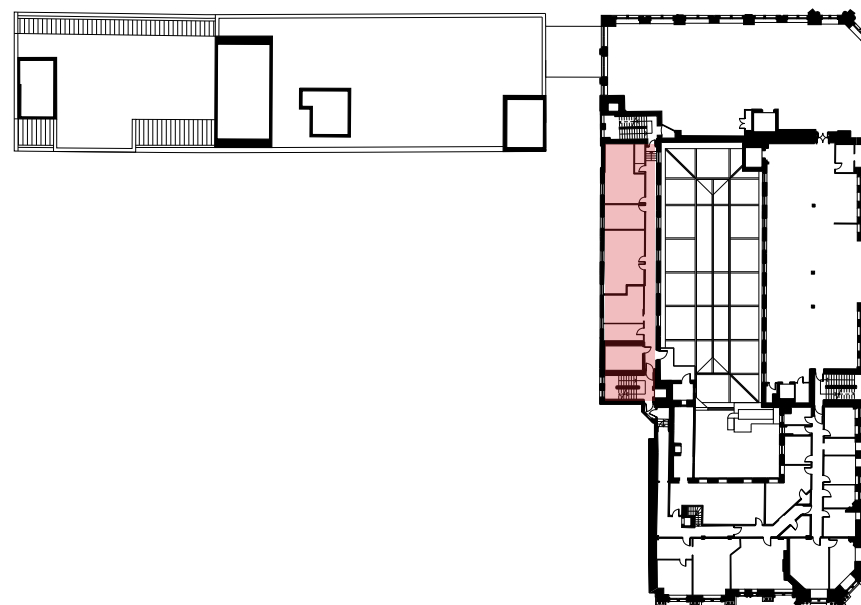
On the fourth and fifth floor, the wing to the West of the atrium (West Wing), is not level to the surrounding floor plates. This area has historically been used as both back of house and as a retail area, with a beauty parlour on the fifth floor.



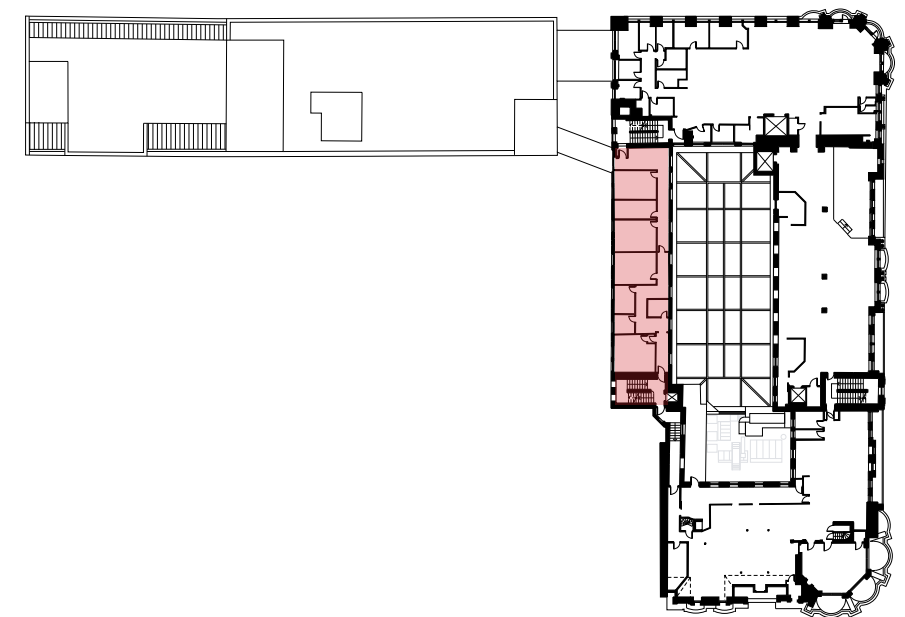
Basement levels - ramp mitigates 2.5m level difference, along a series of back of house rooms



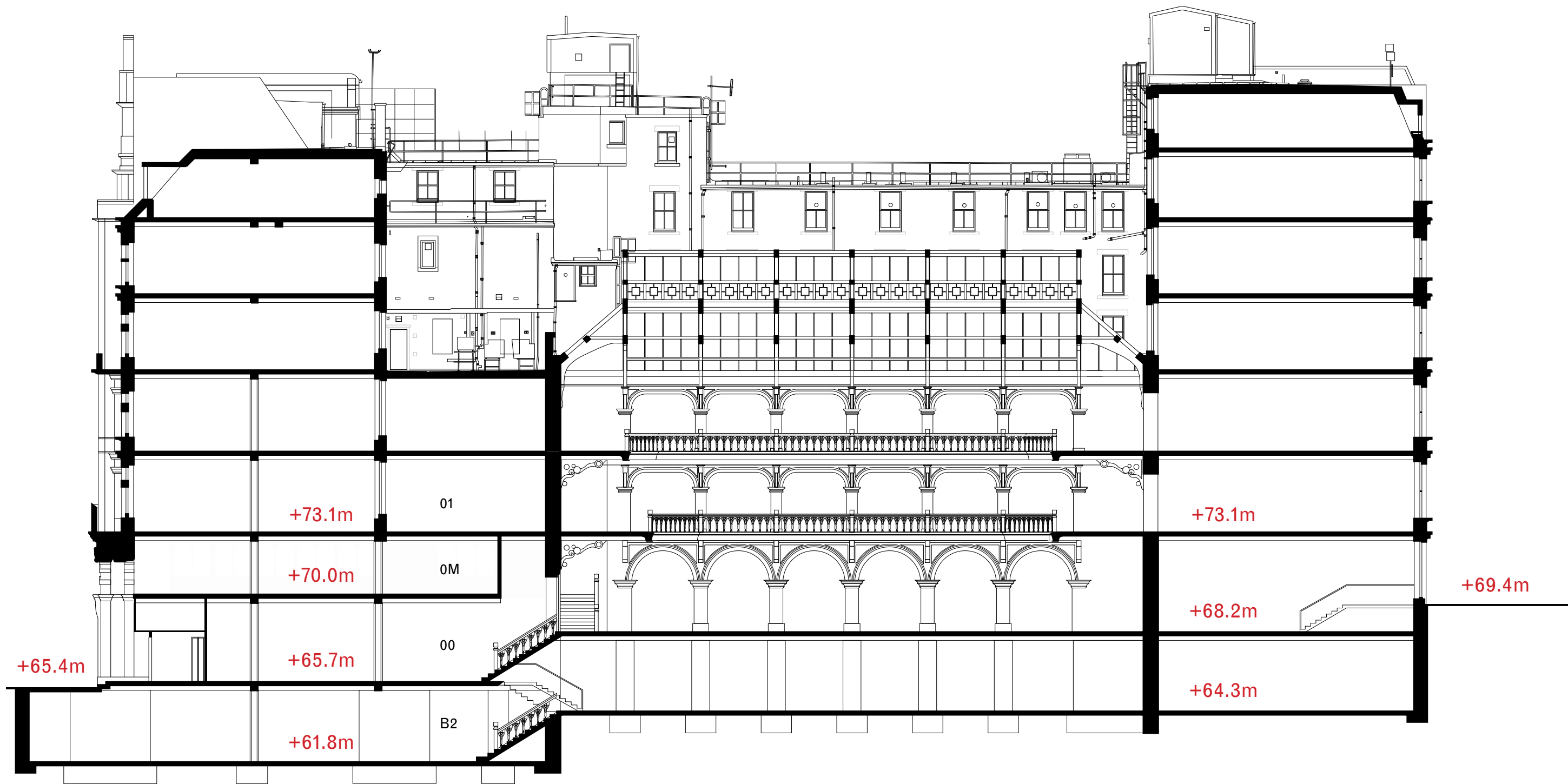
Level 1 - highlighted 1960's building level difference of 0.45m



Level 4 - highlighted West Wing different level of 0.75m



Level 5 - highlighted West Wing different level of 1.4m



North - South long section, noting the split level nature of the existing building between street, basement and first floor level



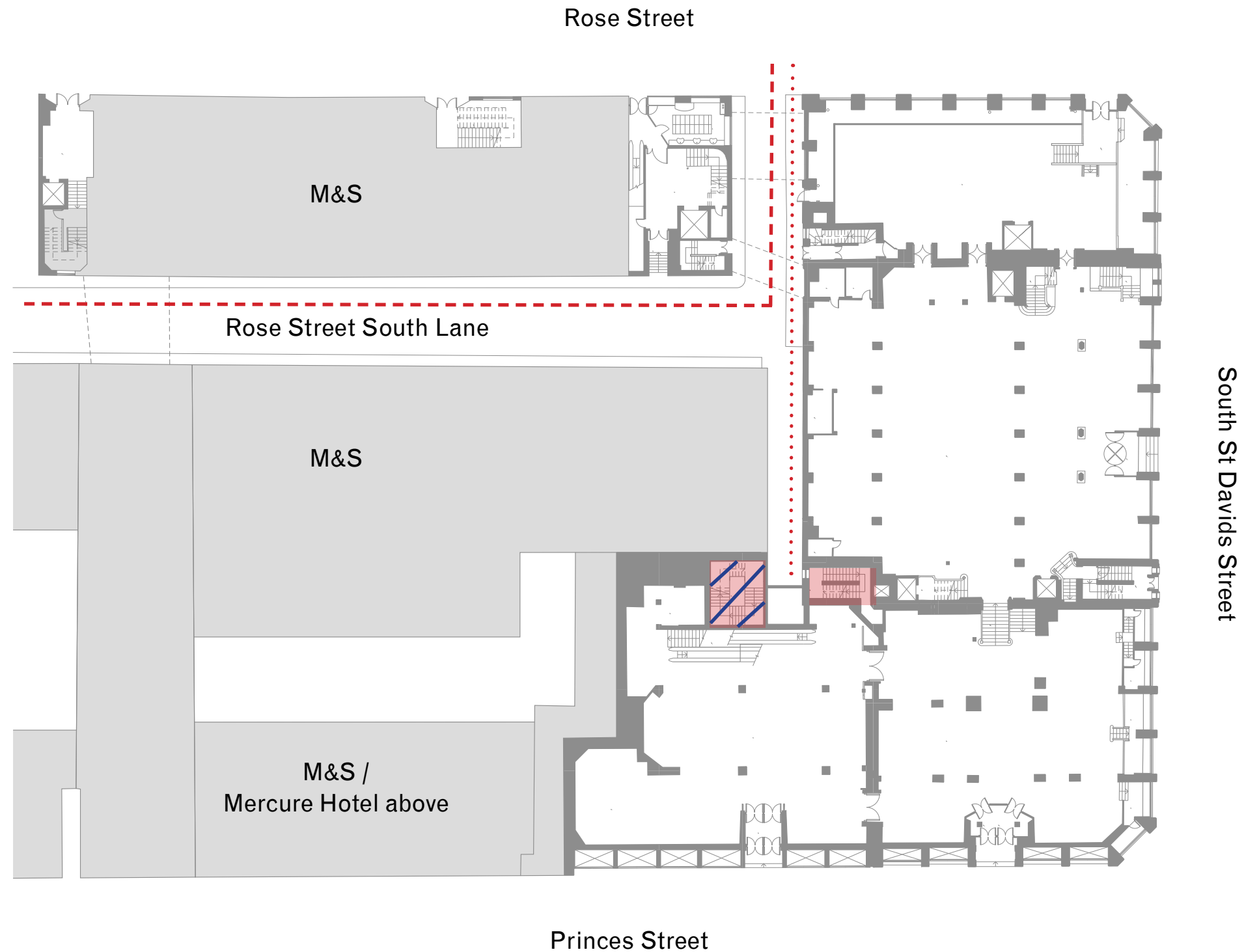
## 5.1.4 Shared stairs and servicing

The site had once been consolidated with its neighbours, prior to its demise being divided into Jenners, Mercure Hotel and Marks and Spencer. This has resulted in shared facades, overlapping programmes and shared service routes. The proposed development will seek to rationalise these conflicts where possible.

Shared escape — as highlighted in the plan, there is an existing stair that is a shared escape route for both Jenners and the Mercure Hotel. This route leads onto South Lane and is also shared with a Jenners-only escape stair to the East of South Lane.

Rose Street South Lane is a public road and acts as a service road for various commercial properties along Princes Street and Rose Street. Traffic analysis and the proposed servicing strategy is documented in Section 11 - Technical Coordination.

- fire escape
- fire escape shared with Mercure Hotel
- shared fire escape route
- public service route



Existing ground floor levels, with main public entrances highlighted red (photographs on next page)

## 5.1.5 Acoustic report

Please refer to the 'Noise Impact Assessment' prepared by Sandy Brown Associates LLP for further information.

An environmental noise survey has been carried out to determine the existing sound levels in the area. Data from the survey will be used to inform the design of the development with respect to atmospheric noise emissions from building services plant and environmental noise ingress through the building envelope.

The average ambient noise levels measured during the survey were LAeq,16h 67 dB during the daytime and LAeq,8h 61 dB at night at Princes Street, and LAeq,16h 64 dB during the daytime and LAeq,8h 61 dB at night at Rose Street. The primary source of noise is vehicular road traffic. The key outcomes of the assessment and recommendations are summarised below.

### Plant noise egress

Based on the requirements of the City of Edinburgh Council (CEC), all plant must be designed such that the cumulative noise level within nearby noise sensitive premises does not exceed NR 25 during the daytime with windows open for ventilation.

The nearest officially recognised noise sensitive premises is 56 Rose Street, which is approximately 100 m from the Jenners site. The driver for noise and vibration limits will therefore be the Jenners building itself and consideration of neighbouring hotels.

Compliance with CEC criteria is not considered onerous because of large distances involved, and is expected to be achieved in the course of achieving reasonable levels locally. The building services design is ongoing, and acoustic control of noise emissions will be developed in due course with full regard to CEC requirements and local sensitivities.

### Environmental noise ingress

Noise ingress from external environmental sources is to be controlled to achieve guideline British Standard design ranges.

For residential areas of the development, high performance acoustic double glazing or secondary glazing will be required, with ventilation being provided mechanically. Indicative glazing constructions that are suitable have also been provided, and will be further developed as the design progresses.

For office areas, moderate performance double glazing or secondary glazing to retained windows is expected to be appropriate.

## 5.2 Opportunities



## 5.2.1 Reinstating lost architecture

Key opportunity is to reinstate or re-present the original architectural concept for the department store and reinvigorate the original retail experience as intended by Charles Jenner and William Hamilton Beattie.

Reinstating or representing lost features, details and characteristics (as evidence from the documentary resource- historic drawings and images) forms the basis of the proposals. This aligns with the Client's aspiration to conserve and enhance the building and its significance, by addressing its constraints and the need to create a viable retail experience supported by hotel use.



Mezzanine void and skylight which have both been lost by modern floorplate infills  
© Courtesy of HES (Bedford Lemere and Company Collection)



## 5.2.2 A new relationship to St Andrew Square

In contrast to the visceral atmosphere and urban complexity of the Old Town, the Enlightenment city of the New Town was initially laid out with precision, rationality and elegance to the abstract design of James Craig. The development and expansive formal planning of this neoclassical city from the eighteenth century onwards exerted a far-reaching influence on European urban planning. At its heart, George Street runs the length of the New Town commanding an elevated ridge to form a grand urban boulevard that connects Charlotte Square in the west with St Andrew Square in the east, their contrasting characters bookend the layout of the first New Town.

Originally a residential development, St Andrew Square was the first portion of the New Town to become home to banks, insurance companies, hotels and other commercial developments. Its continual regeneration and evolution has formed a key part of the New Town's development. The square is currently surrounded by buildings from many different eras, scales and architectural styles.

While at present, the Jenners Building is closed off towards Rose Street and St Andrews Square, the proposal seeks to establish a new relationship and sense of presence to this side, ingrainning itself within the city as it is today. To achieve this, amendments to the public realm, shop windows, entrances and roofline are considered.



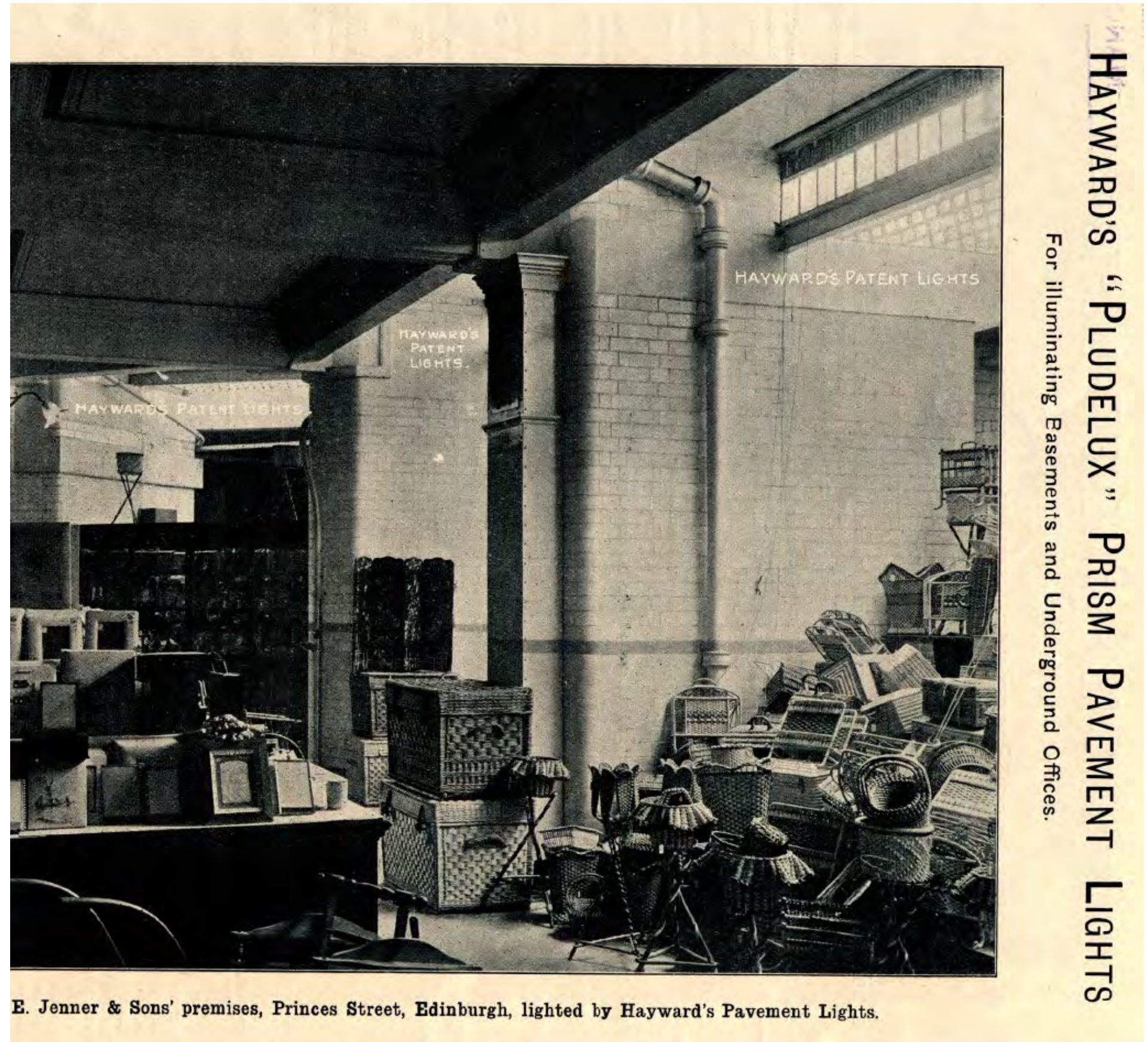
The Jenners Building from St Andrew Square



### 5.2.3 Natural daylight

The original department store was designed in such a way as to maximise light with generous windows along each facade and more subtle details such as the use of stall riser lanterns and glazed bricks to reflect light into the otherwise dark basement. A sense of space was also achieved by the clever use of mirrors on many of the interior surfaces and columns.

The demands of a contemporary retail space will require a sensitive luminaire design that can adjust to the environment throughout day and night. This will be carefully considered and balanced with the ambition to maximise the use of natural light while restoring the atmosphere of the historic lighting conditions.



E. Jenner & Sons' premises, Princes Street, Edinburgh, lighted by Hayward's Pavement Lights.

Princes Street basement showing original condition of stall riser and pavement lights (from Hayward Brother's product catalogue)



The lighting concept proposes to reinstate lost lighting conditions, that are integral to the original character of the building, by opening up and restoring all of the historic windows and atrium. This work is supported by an in-depth review by the conservation architect (Loader Monteith) and heritage consultant (Turley).



Opening up of historic windows during strip out works



## 6. Architectural approach



## 6.1 Project ambition

## 6.1 Ambition

The proposed development recognises the significance and tradition of the Jenners building and maintains the department store function as the key driver for the project, fusing with high-end hospitality.

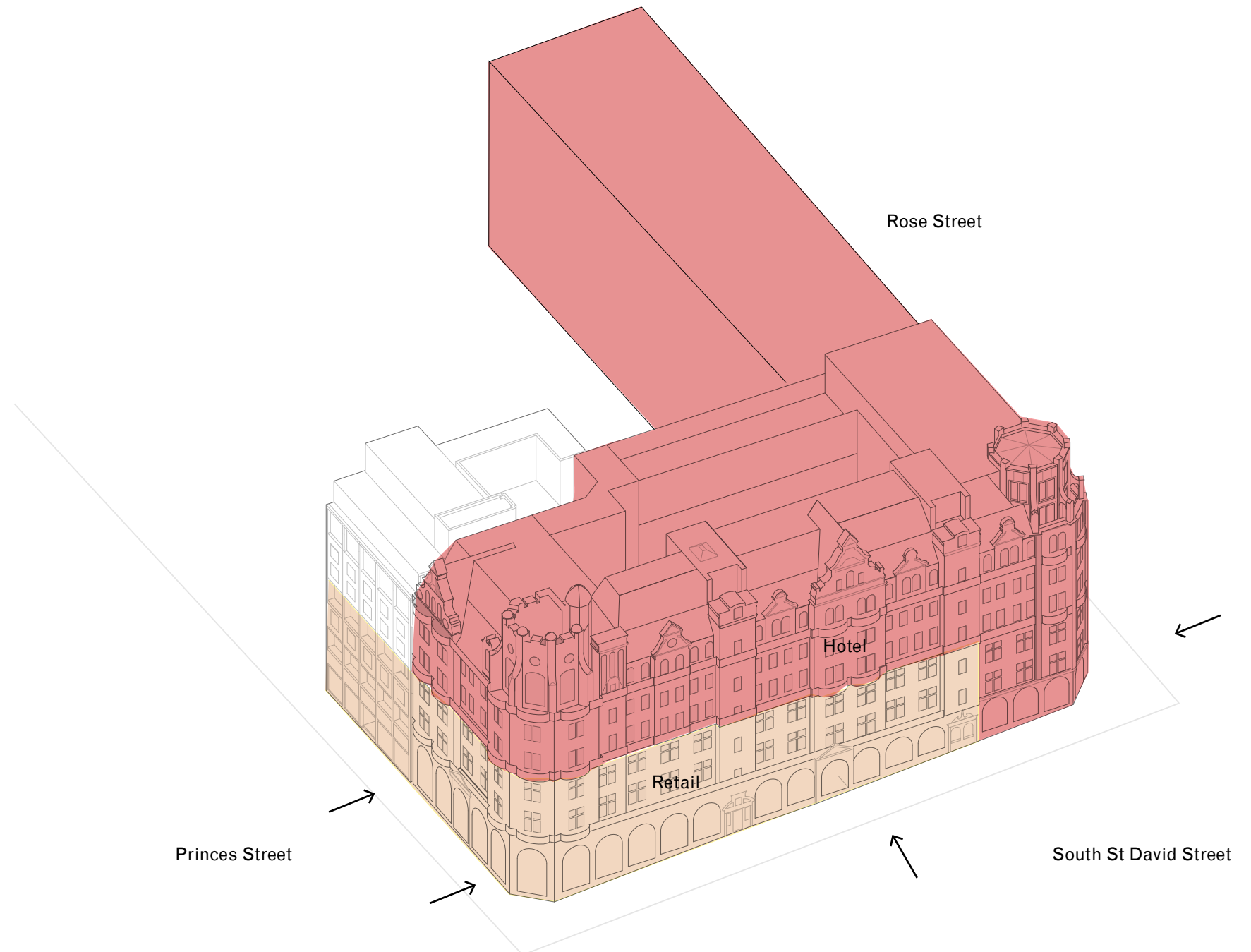
The vision for Jenners is to preserve the historic building, whilst at the same time safeguarding its future by making it to be commercially viable.

The most historically significant parts of the building will be principally used for retail and aims for a minimum area of 55,000sqft (5110sqm) net. Existing building entrances will be enhanced, with the main retail entrance remaining on Princes Street.

Given its convenient location and grand nature, the building is well placed to accommodate a high-end hotel with a complimentary restaurant and bar offer.

Food and beverage spaces are proposed to be developed on the ground floor towards Rose Street, around the main atrium and within the historic building on the second floor as well as on the seventh floors – supporting both the retail and hotel functions.

The hotel rooms are accommodated on the upper floors with orientations to Princes Street, South St David Street and Rose Street with a key count of 96.



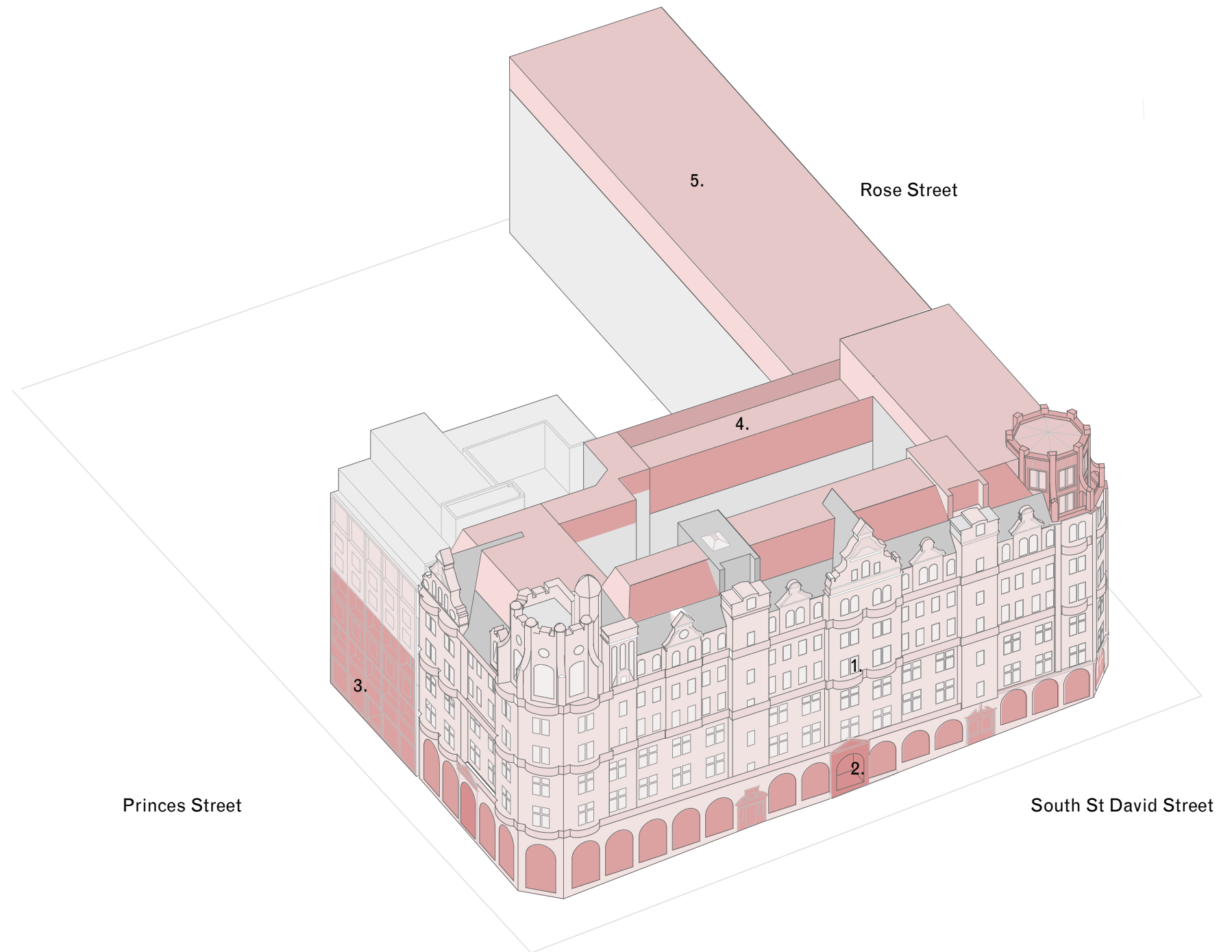
## 6.2 Adaptive reuse

A feasibility study undertaken by David Chipperfield Architects in 2019 laid the foundations for manifesting the client vision for the Jenners building and established key ideas that have since been rationalised, developed and elaborated.

The diagram on this page describes the areas of key focus for the interventions.

In order to facilitate reconfigurations for the required retail areas and hotel room key count, with a quality of spaces commensurate with the offering, additional space on the roofs is required. The purpose of the roof extensions is for hotel rooms, a public bar and the integration of modern plant equipment to service the hotel and retail.

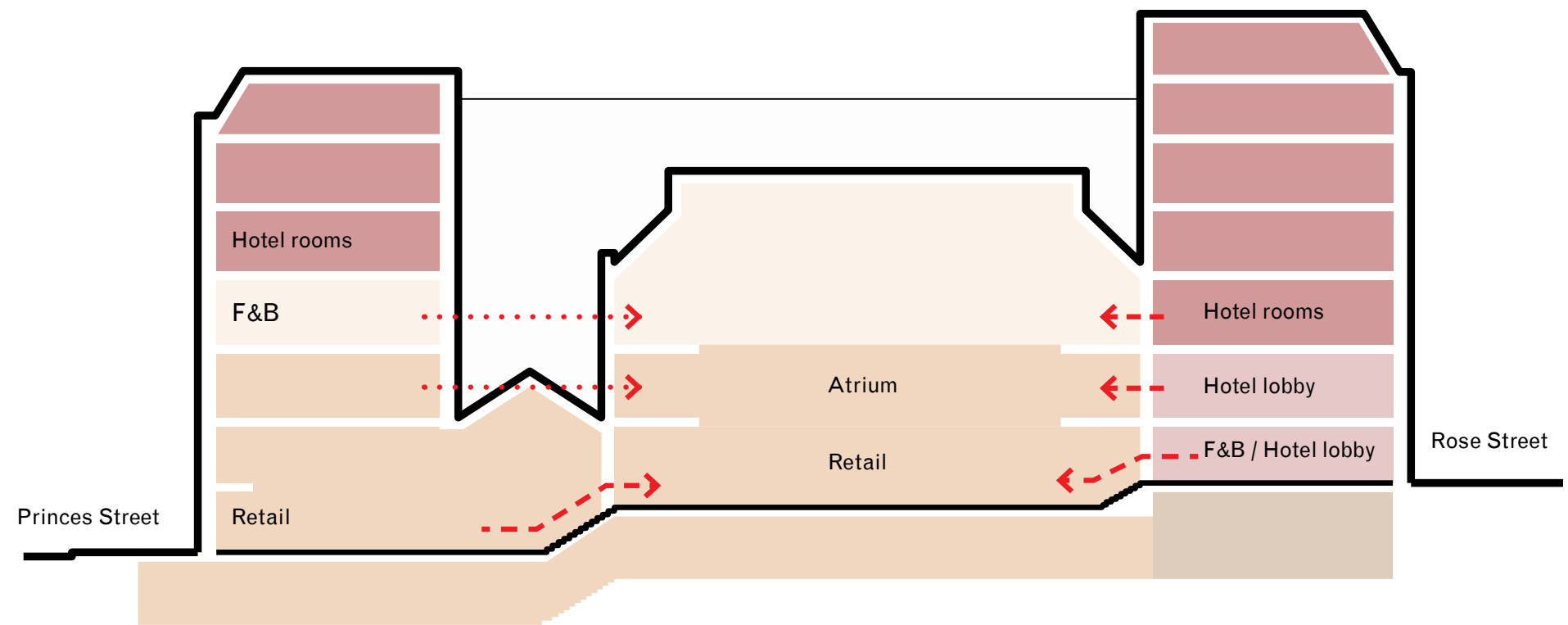
There are five main areas of development – (1) façade repair and restoration (2) open up shop fronts (3) reconfigure and repair 1960's Princes Street façade (4) principal Jenners building roof extensions (5) Rose Street building extension.





The building is configured so that both the hotel and retail offerings can be operated independently.

The infrastructure supporting the food and beverage (f&b) on the second floor is designed to be operated by the hotel, however it is considered that whoever operates the f&b would benefit from some degree of cooperation with other occupiers.



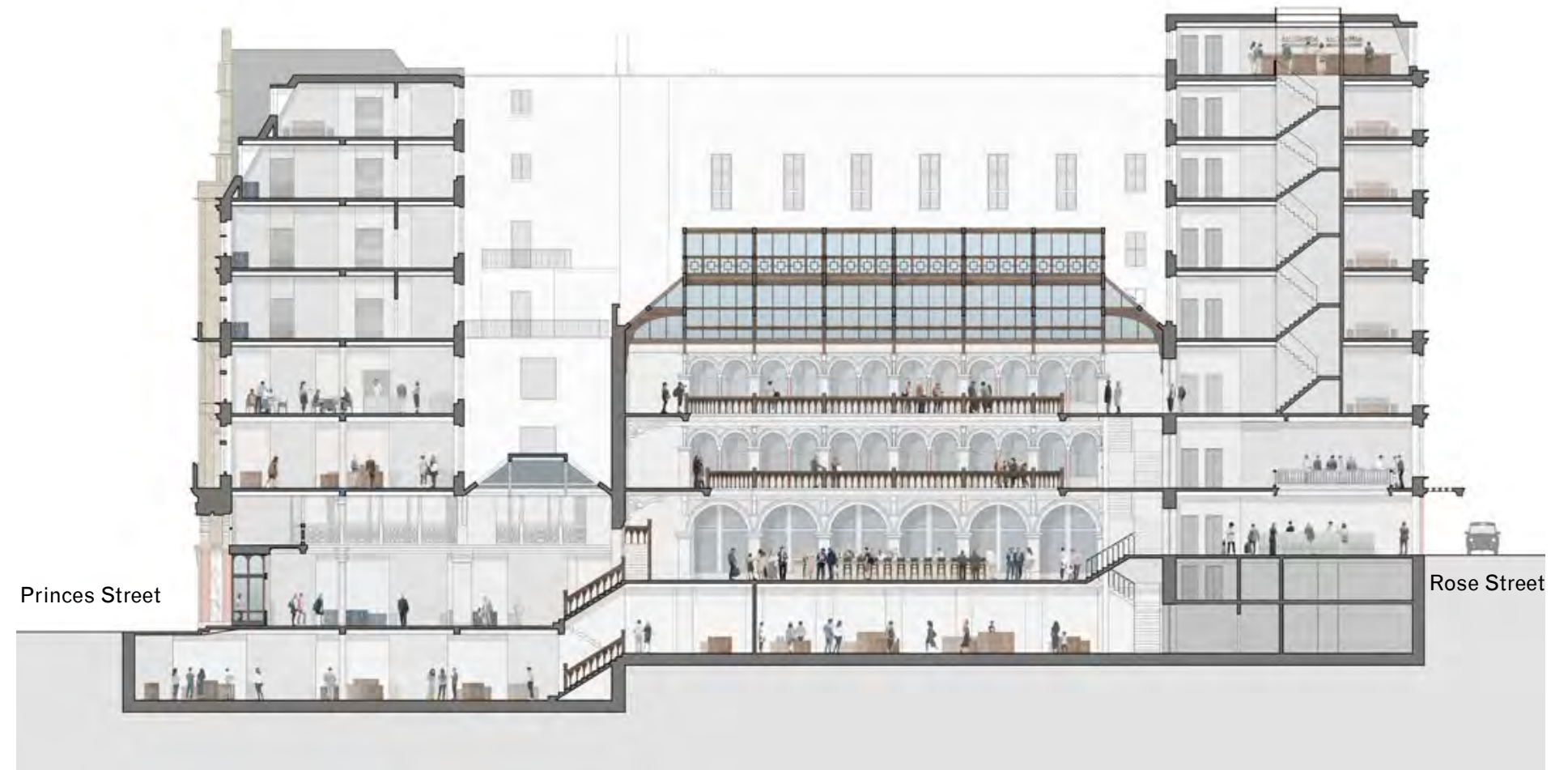
## 6.3 Concept

The proposed development recognises the significance and 180-year tradition of the Jenners building on Princes Street.

It builds on the store's heritage and envisages a new combination of retail and hospitality for Edinburgh.

The careful insertion of new infrastructure and circulation brings clarity to the most significant spaces.

Just as the original building did in its day, the new project will use innovation and technology to craft a building that will provide new experiences. It will simultaneously invoke memories of old experiences and be more sustainable than the existing building.





The proposal seeks to re-establish the architectural quality of the original building.

The shopfronts will be restored throughout and a new double-height ground floor façade will be given to the 1966-designed Princes Street extension. This will be based on the existing Craigleith stone cladding and will help re-establish Jenner' identity within the city.



View from Princes Street



The 1960s and 1970s designed Rose Street extension is re-imagined as part of the Jenners complex to accommodate hotel rooms, infrastructure and services.



View from St Andrew Square



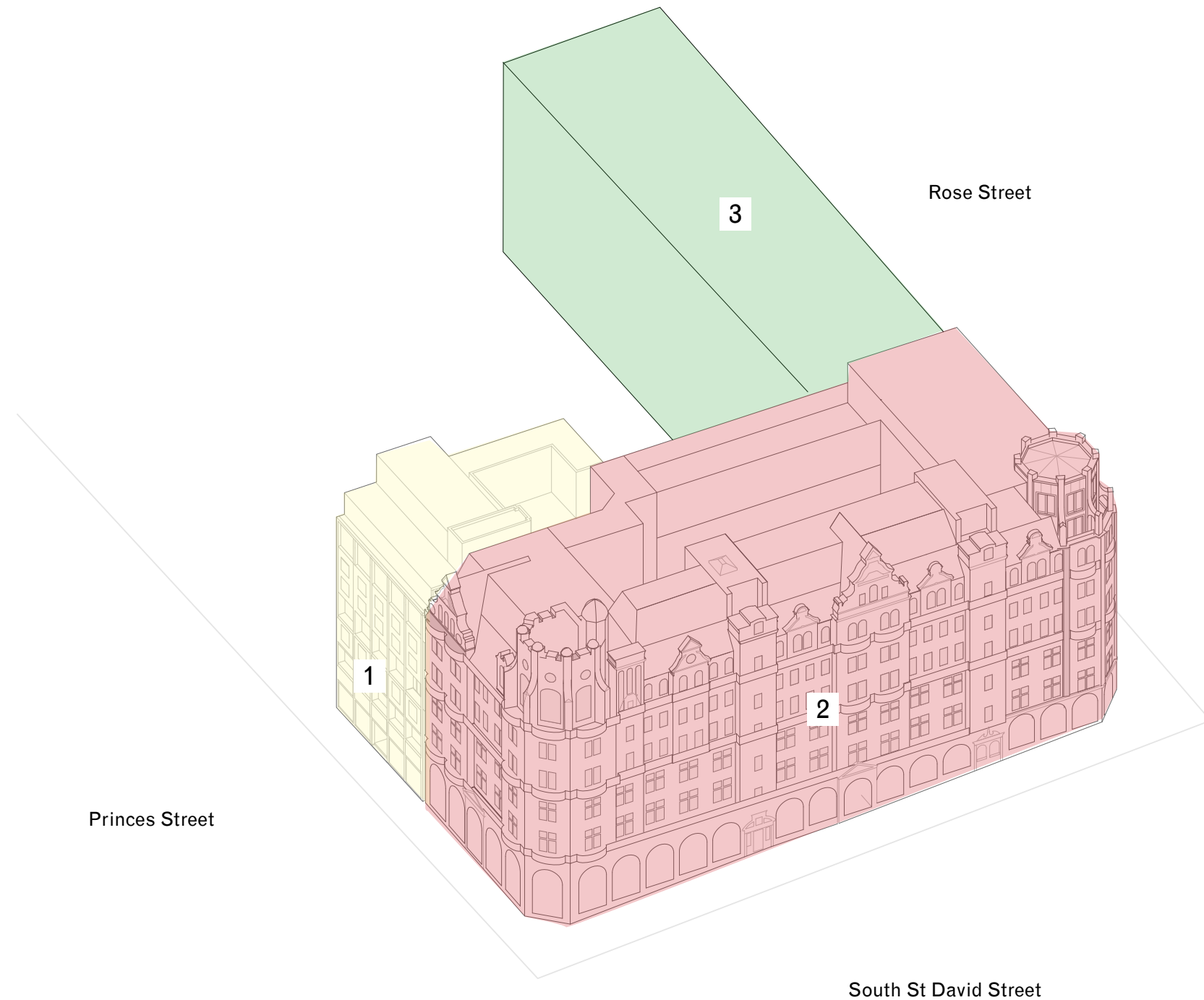
## External envelope interventions

The historic façades' exceptional design and detailing helped to define the strong characteristics of the Jenners store identity. High quality craftsmanship, particularly on the windows and masonry façades, brings cultural, economic and social significance together to form an iconic building for the city.

The proposal suggests a light touch restoration in order to respect the heritage. As described in Section 4.10, the condition of the historic façade is in relatively good order having undergone renovation works in 1995.

### Detailed interventions:

- Minor façade restoration of Victorian stonework
- Restoration of historic windows, including glazing where necessary
- Opening up of ground floor shopfronts
- Refurbishment of entrances
- Reintroducing lost skyline features such as chimney pots
- 1966 Princes Street façade alterations to shopfronts to enhance visual connection to the main building and open up lower floors.
- 1966 Princes Street – cleaning or rectification works to upper façade dependent on structural investigations



Key:  
1 – Princes Street 1966 extension  
2 – Historic William Hamilton Beattie  
3 – Rose Street building

## 6.2 Princes Street building







## 6.2.1 Princes Street 18th and 19th century

Originally all buildings followed the same format: set back from the street with stairs down to a basement and stairs up to the ground floor with two storeys and an attic above. Of this original format only one such property, 95 Princes Street, remains in its original form.

Through the nineteenth century most buildings were redeveloped at a larger scale according to Kirkwood's 1817 plan. The street evolved from residential to mainly retail uses.

The Abercrombie Plan of 1949 proposed tighter control of design to create a more coherent appearance. Modernist buildings would offer a new consistency.

The Royal Hotel on 50–52 Princes Street was broken up into two buildings.



Princes Street elevation 1946

## 6.2.2 Princes Street 1966 extension

The Royal Hotel on Princes Street was redeveloped in phases in 1955 and 1966. The Princes Street façade was designed in 1966 by Tarbolton & Ochterlony in Craigleith stone and Nickel Bronze metalwork.

The 1895 building is internally connected to the 1966 extension on the left, up to and including the recessed glazing level on the second floor.

Most of the 1966 building remains in original condition however the ground floor shop frontages appear altered with the metal canopy having been removed.

On the street frontage the Jenners store occupies the ground floor to the second floor of the 1966 building, The upper three floors are owned by the adjoining Mercure Hotel (formerly Mound Royal Hotel) .



Partial ownership of the 1966 building



Princes Street 1994



### 6.2.3 Princes Street existing façade

The existing façade consists of a double leaf brick construction hung with 38mm brown marl Craigleith stone panels, framed with light Craigleith casing. The windows are nickel or bronze and pivot hung on the first floor. Granite clads steel columns on the ground floor.

The canopy that originally divided the cladding on the vertical columns has been removed. Originally the columns above the canopy would have been clad in Craigleith stone, now pink granite is used to frame shop windows.

The pins currently supporting the cladding are not part of the original design and were introduced when the original fixing method failed.

Further investigation into the life expectancy of the current fixings is required.



Princes Street 1994



Princes Street existing street view



One of the most important interventions in the façade will be the extension of the shopfronts to bring them closer to the proportions of the arches of the 1895 building. For this, it will be necessary to remove part of the stone façade and the horizontal beam located at the mezzanine level and the ground floor columns will have to be strengthened



Diagram showing the beam that needs to be removed (red) and the strengthened columns (blue)



Existing façades on Princes Street



### 6.2.3 Princes Street proposed façade

The new proposal for the Princes Street façade intends to maintain a coherence with the existing façade design, not to differentiate and highlight the partial ownership. A sensitive upgrade of the existing façade is proposed, along with improvements to the ground floor.

The existing materiality of Craigleith stone will be extended to include the ground floor and mezzanine openings whilst the upper stories of the existing façade would be improved through stone cleaning and, depending on site investigation results, through repair of existing stone fixings.

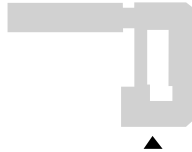


Princes Street proposed elevation





Proposed façades on Princes Street



## 6.3 William Hamilton Beattie building







### 6.3.1 Historic façades

As detailed in Loader Monteith's Fabric Condition Survey (see Appendix 12.1), the façade had restoration works for its centenary year in 1995. This conservation work has largely upheld its condition, therefore, only minor works and modest façade cleaning are envisaged to the stonework.



1895

1903



### 6.3.2 Historic façades restoration

The existing façade has had windows altered and replaced over time and shopfronts blocked up. The windows will be restored and the shopfronts opened up to achieve a consistent ground floor appearance with more daylight, transparency and activity.

#### 1 Façade restoration

- Subtle cleaning and repair of original stonework where required
- Repair original stone mullions
- Refurbish original windows
- Remove vents and replace glass where altered to transparent plate glass

#### 2 Shop fronts

- Refurbish original shop windows
- Replace glazing and modern stall risers but preserve historic prism glass
- Remove modern air-con grilles

#### 3 Entrances

- Refurbish original stonework
- Refurbish original metal gates
- Replace modern doors and air curtains

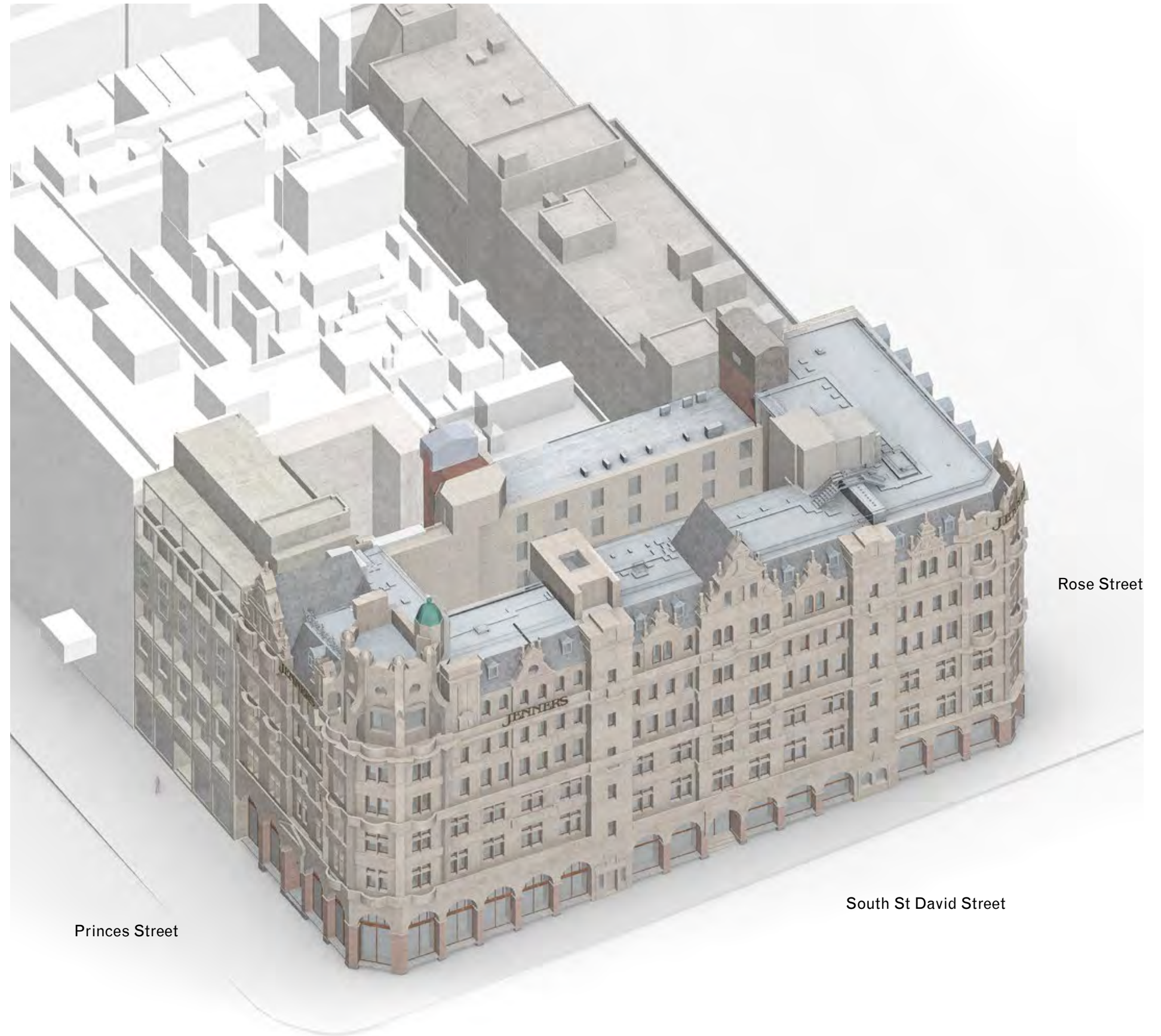




### 6.3.3 Roof extensions

#### Existing

The existing roofscape of the Jenners Building has been altered over the building's history, which has resulted in a series of ad hoc, poorly considered interventions and a mass of building services.



View of the west wing roof

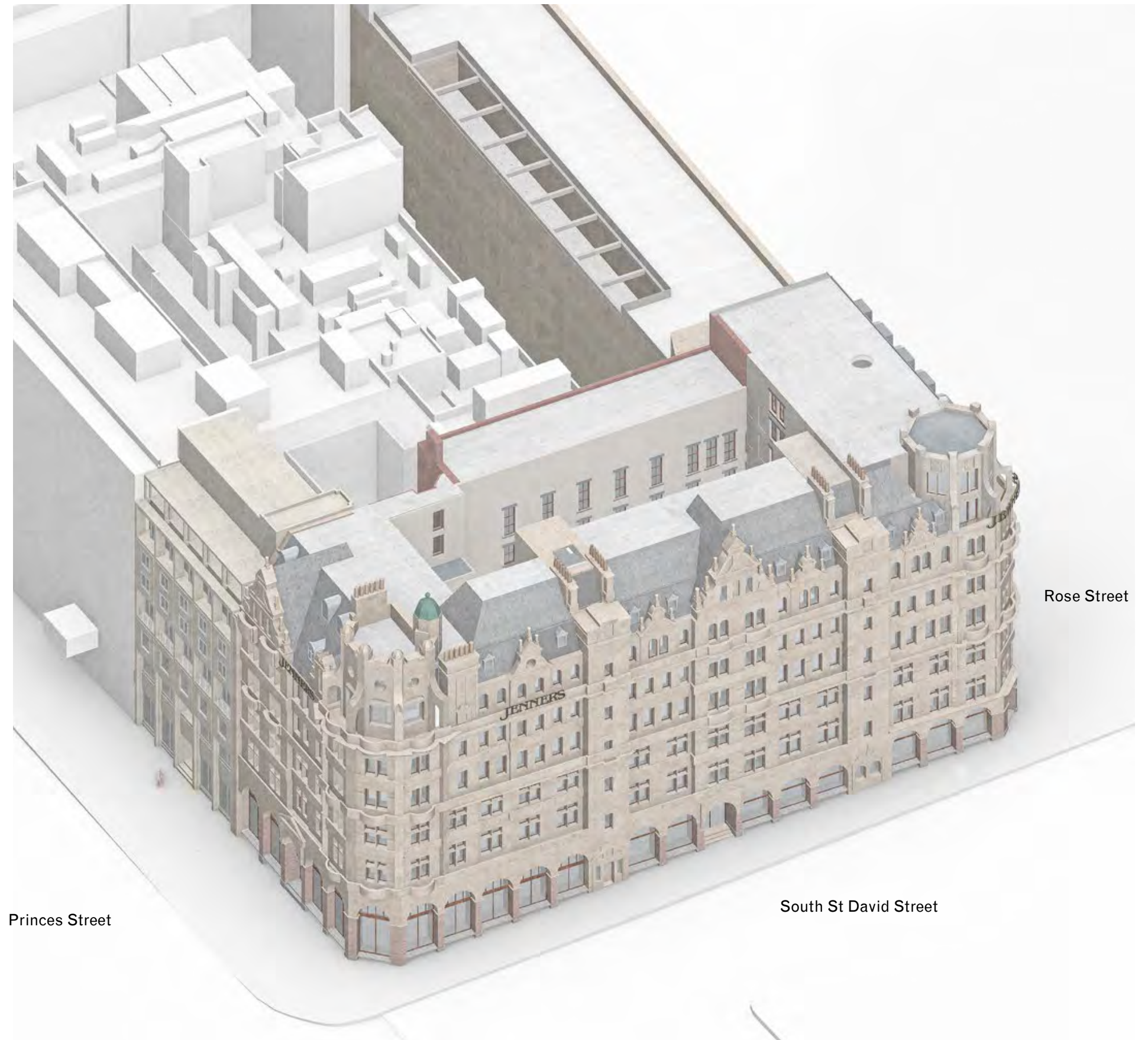


## Proposed

The following pages include a number of interventions and additions at roof level, all of which require careful consideration during the design process

Principles for new roof level plant at Jenners:

- a new public bar overlooking St Andrew Square
- additional area for required building services, allowing the development to be brought to modern standards while maintaining the heritage value of the historic spaces below



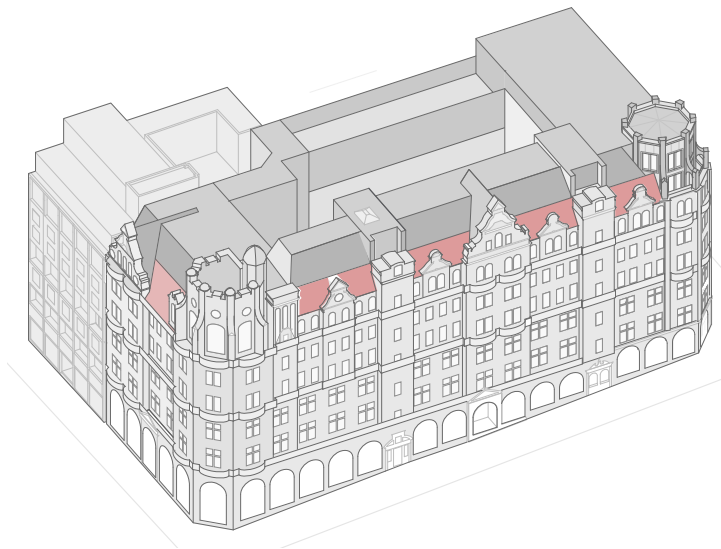


### 6.3.4 Retention of existing dormers

The roofline of the principal elevations of the building is defined by the ornamental masonry and architectural features at roof level. These include the swan-necked pedimented dormers with finials, which are also considered of high significance and are distinctive roof features.

It was understood, from early stages of the design, that the retention of these dormers was crucial to preserving the historic character of the building.

There are a total of eight dormers facing South St David Street at sixth level and a single round head dormer in Princes Street, of which all will be retained.



Swan necked pedimented dormers in South St David Street façade



Round head dormer in Princes Street façade



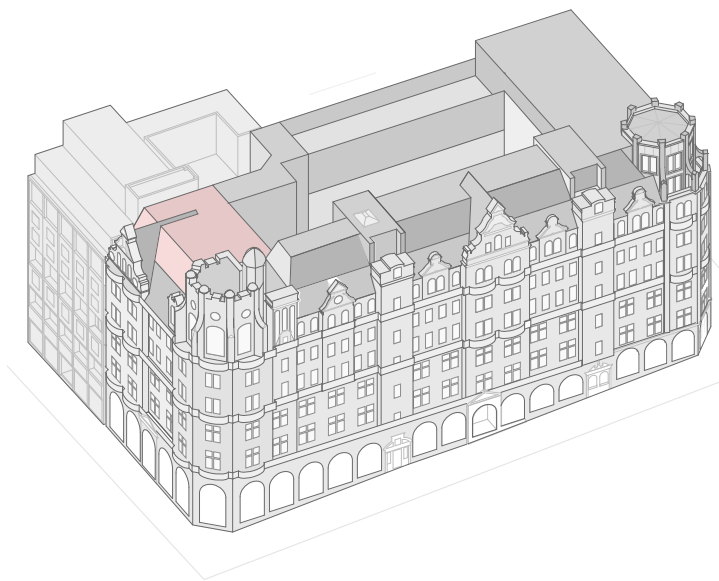
### 6.3.5 Roof extension on Princes Street

The proposal presents a mansard roof extension that accommodates a new hotel suite on the sixth floor.

The extension of the roof will follow the same slope of the existing mansard, incorporating three dormers that will follow the same design line and proportions as the historic dormer on the lower level.

The existing brattishing was not part of the original design but it was introduced in the 1920's. The new design proposes to retain and place the brattishing on top of the extended mansard.

Chimney pots will be reintroduced on the stacks to the west of the tower. This will help to emphasise the height of the existing building, reducing the visual impact of the new roofline.



Princes Street proposed aerial view

### 6.3.6 Princes Street façade and materiality

The external interventions on the façade of Princes Street includes the repair and reinstatement of windows and shopfronts and the improvements of the entrance door to reflect its historic and architectural character.

The roof alterations in this elevation will include (1) the extension of the mansard roof in slate incorporating three dormers, (2) the relocation of the brattishing on top of the extended mansard, (3) the reintroduction of a bullnose similar in appearance to the one in its original design as a separating element between the historic mansard roof and the new one and (4) the ceramic pots on top of the chimney.

The material for the roof extension will be slate to match the existing and coursed to match. The design of the new dormers at sixth floor will be a modern reinterpretation of the dormer at level fifth, they will preserve the shape and material of the existing contributing to the architectural character and appearance of the roofscape.



Princes Street existing elevation



Princes Street proposed elevation





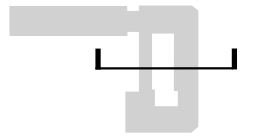
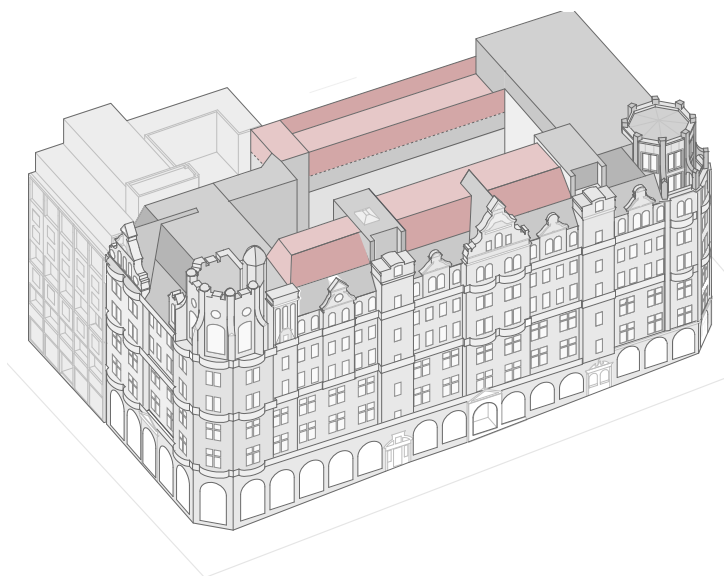


### 6.3.7 Roof plant integration

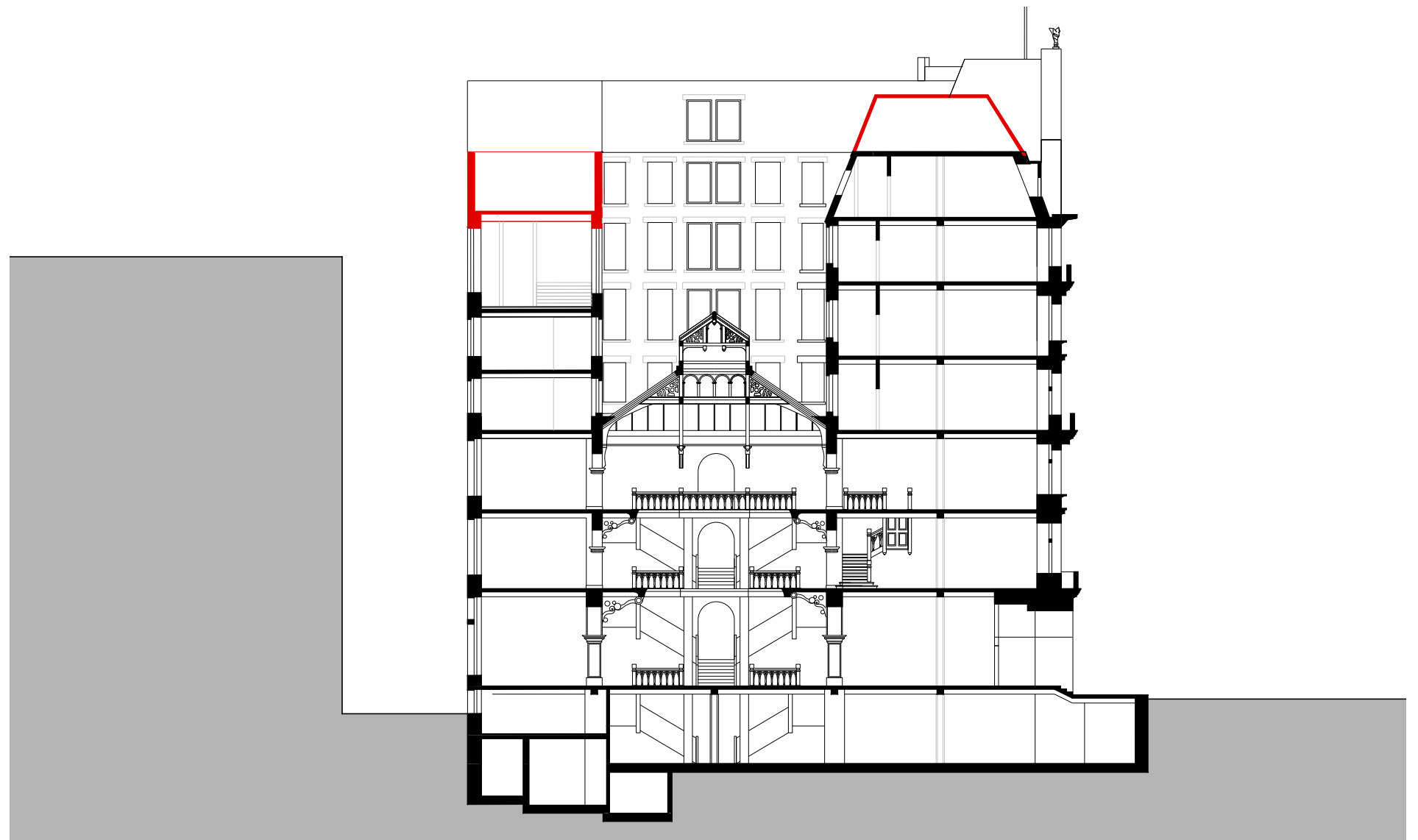
The existing roofs have evolved in an ad hoc manner over the decades with a number of older and more recent plant enclosures, lift overruns and exposed ventilation and cooling plant resulting in an untidy roofscape.

The services and plant strategy has been devised to protect the most significant historic spaces and in particular the atrium. Essential plant to serve the hotel levels is therefore located on the roof.

This plant equipment will be located on top of South St David Street (extending the mansard roof one floor) and on top of the west wing.



 Extended roof



Cross section



It is proposed to integrate plant in a discrete enclosed mansard attic structure to avoid unsightly plant or plant screens.

The design has been coordinated to minimise the size of the equipment requirements and reduce the impact of the roof height.

The mansard roof extension on South St David Street will include the plant equipment to ventilate the atrium and hotel rooms on the lower floors. In the north wing it will include the bathrooms that serve the roof bar located on the Rose Street façade

The intention is that this mansard roof is almost imperceptible from street level using the same materials as the historic one, slate laid to match courses. The same principle will be followed in the façade facing the atrium, the material used in this case will be zinc to match the existing. In the upper part of the mansard, acoustic louvres will be used to reduce the acoustic impact of the plant, these louvres will help to give a continuous volumetric appearance to the roof.

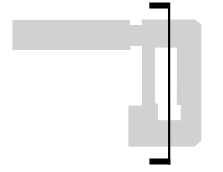
The extension of one floor in the west wing will incorporate plant equipment required for ventilation of the atrium and the roofbar as well as the ventilation of the kitchens. It will have the same materials as the existing façade, red brick for the external façade on the west and white glazed brick for the atrium façade. The strategy for the cladding in this area will be to reuse existing brick as much as possible to minimise the visual impact between historic and new.



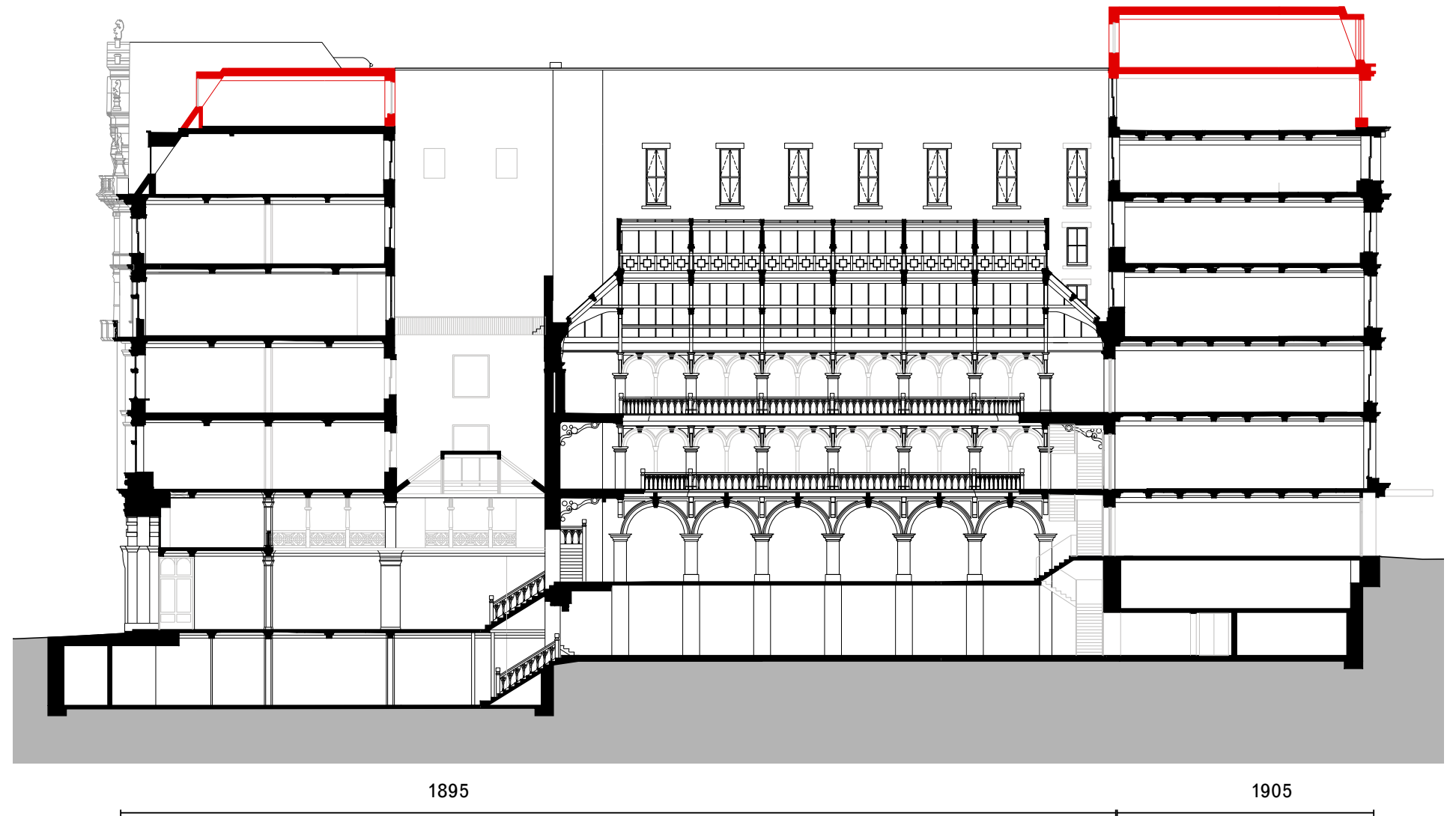
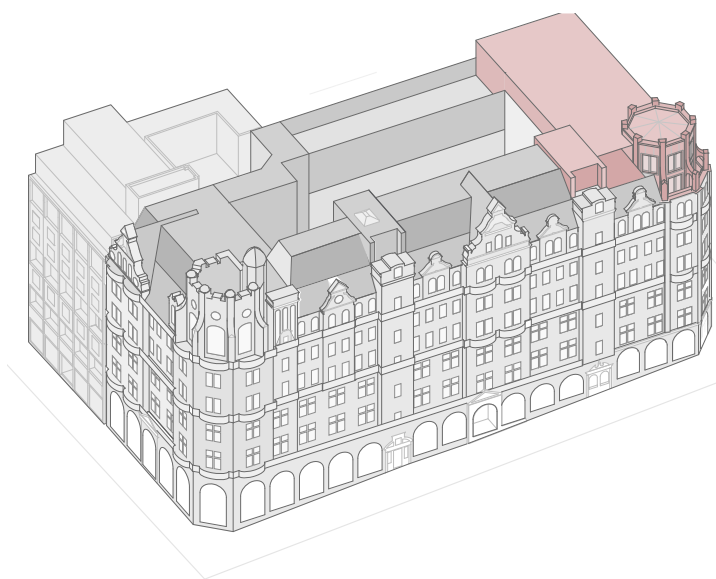
Section diagram showing the plant equipment on the roof and the mansard design

### 6.3.8 Rose street seventh floor addition and corner tower

The intervention on top of the 1905 extension will include the replacement of the mansard roof at sixth floor level with a new stone façade to accommodate hotel rooms, and a seventh floor level extension in mansard roof form and a new tower piece at the corner to accommodate a roof-top bar.



 Extended roof

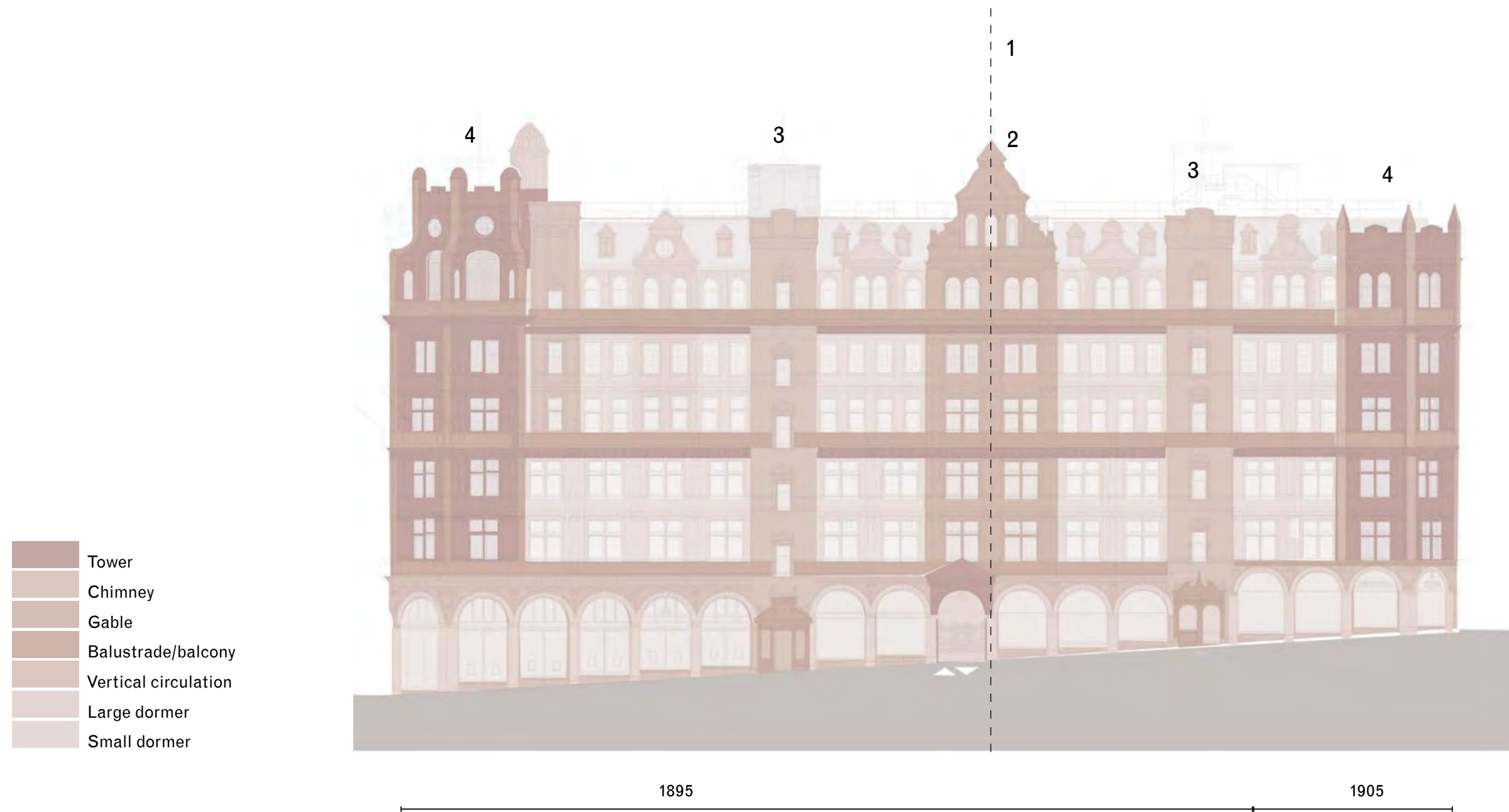


Long section



### 6.3.9 Bringing balance to the elevation

A study of the existing South St David Street elevation shows a symmetry (1) established by the central tower and pediment (2) and two almost identical stair towers (3) either side of a four-bay set back. Corner towers (4) at either end of respective four- and six-bay set back betray this ambition for symmetry.

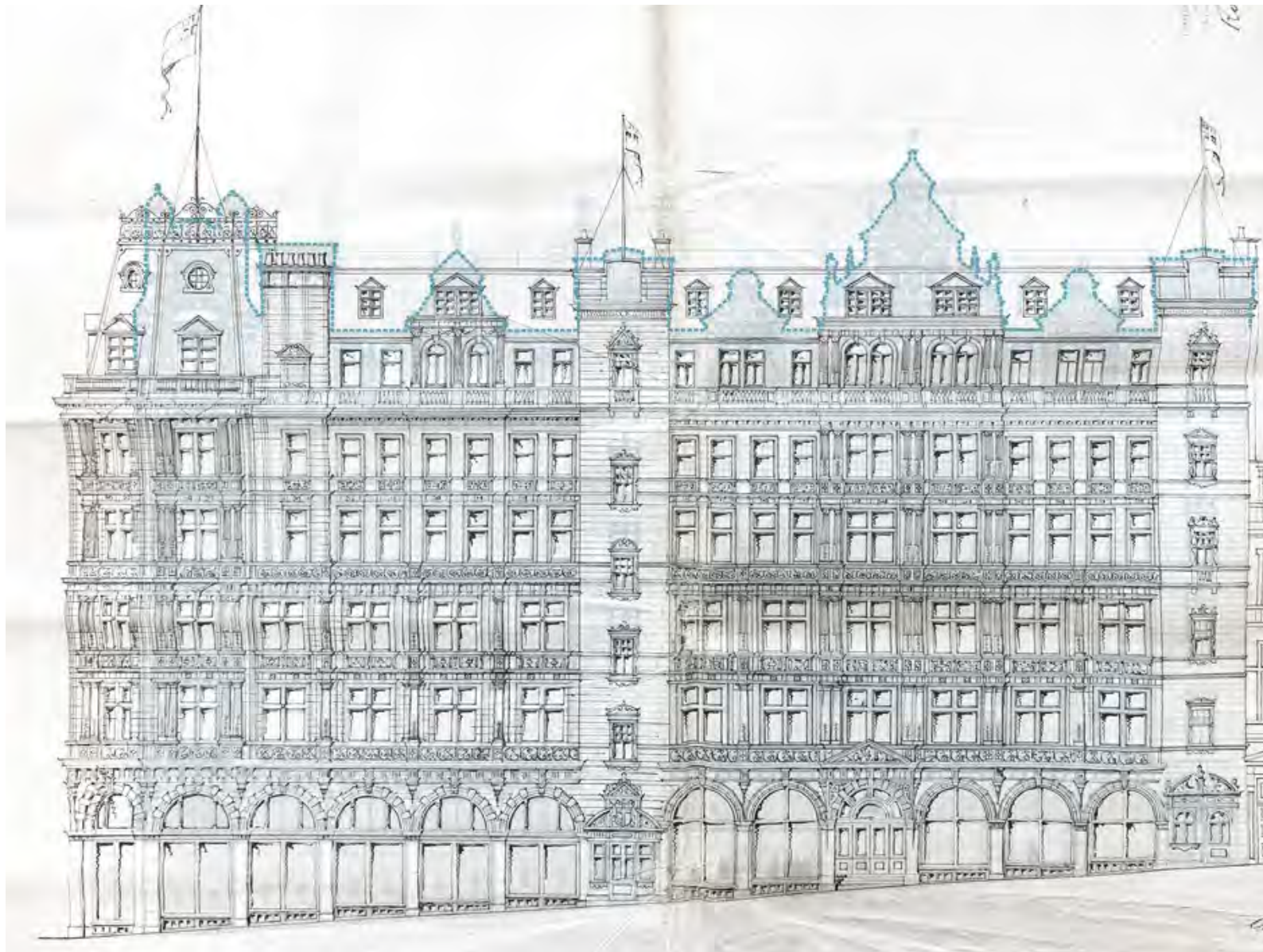




### 6.3.10 Historic drawings

Historic drawings of the South St David Street elevation illustrate the design evolution of this façade and the corner towers.

Original 1905 drawings and later revisions show an elaborate tower facing St Andrew Square similar to the one built facing Princes Street. This was later revised and built, in simpler less significant manner.



1895 (as built outline in blue)

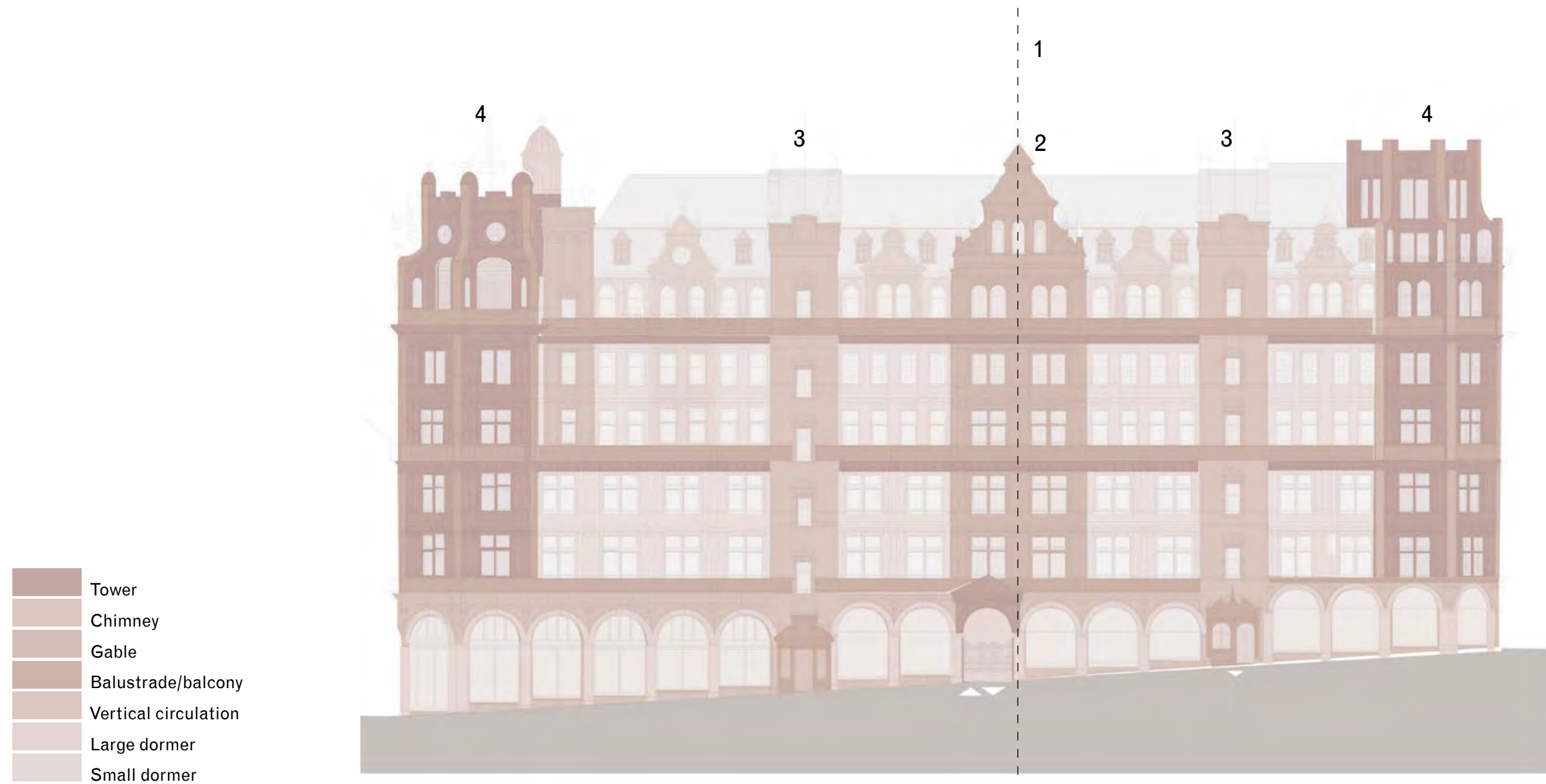


1903 Building Warrant extension



### 6.3.11 Bringing balance to the elevation

The proposal for the seventh floor addition invokes the original designs for the St Andrew Square corner tower and establishes a greater balance in the South St David Street elevation.



### 6.3.12 South St David Street elevation and materiality

The external intervention on the façade of South St David Street includes the repair and reinstatement of windows, dormers and shopfronts and the improvements of the entrance door to reflect its historic and architectural character.

The roof alterations in this elevation will include (1) a refurbished mansard roof extension, (2) the increase to the north stair core tower, (3) the reintroduction of the ceramic pots on top of the chimneys on the two stair core towers, (4) the reintroduction of a lead bullnose as an element to divide the mansard between historic, and (5) the new tower at the north corner.

To maintain the strong silhouette of the south tower and its chimney, the mansard roof is slightly moved away on the south side.

The main materials for the mansard extension will be slate to match the existing and coursed to match. Yellow sandstone for the tower to match the existing stonework and metal for the bullnose to match the original in lead.



South St David Street proposed elevation







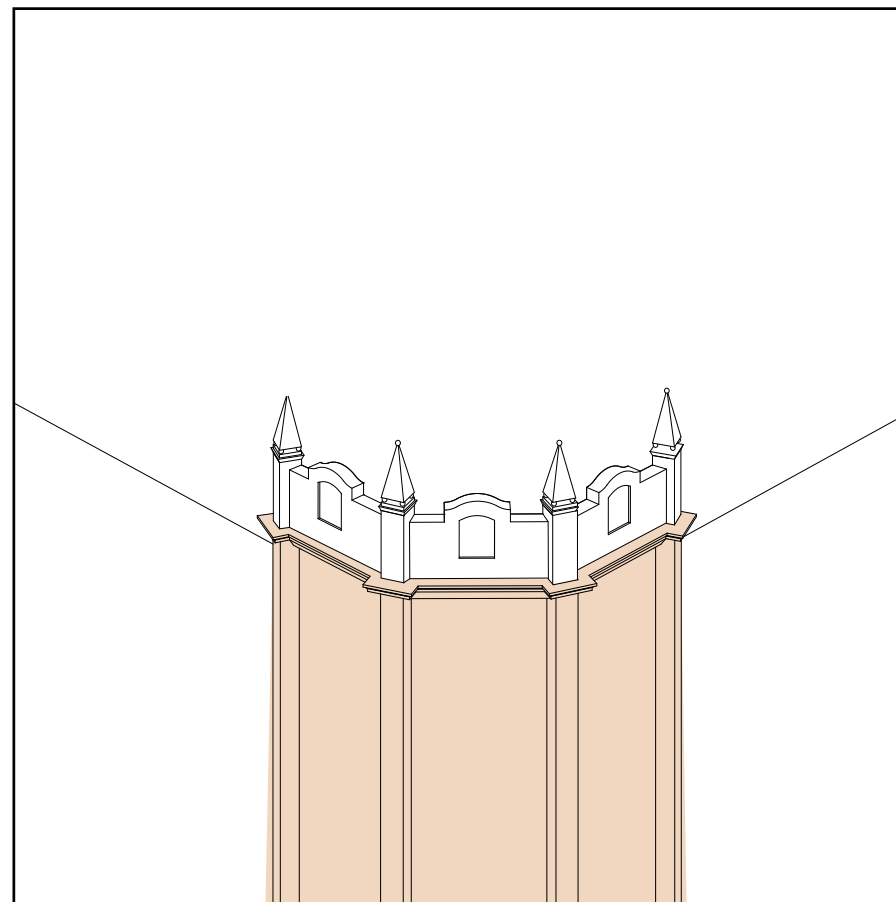
### 6.3.13 Tower design principals

After several studies that try to retain the entire façade in the corner, the conclusion is reached that mixing historical with contemporary elements could confuse the composition of the façade. As a result of this analysis, it is decided to establish a clear line that divides the historic façade of the new tower. This line is established in the level six cornice.

From here the new tower emerges following the same design principles as the historic south tower, starting from an octagonal volume that moves away from the façade to create a three-sided perimeter balcony. The piers of the historic façade extend vertically and flying buttresses are proposed to connect with the new octagonal volume. The three symbols that were at the top of the corner façade will be relocated on top of the new tower.

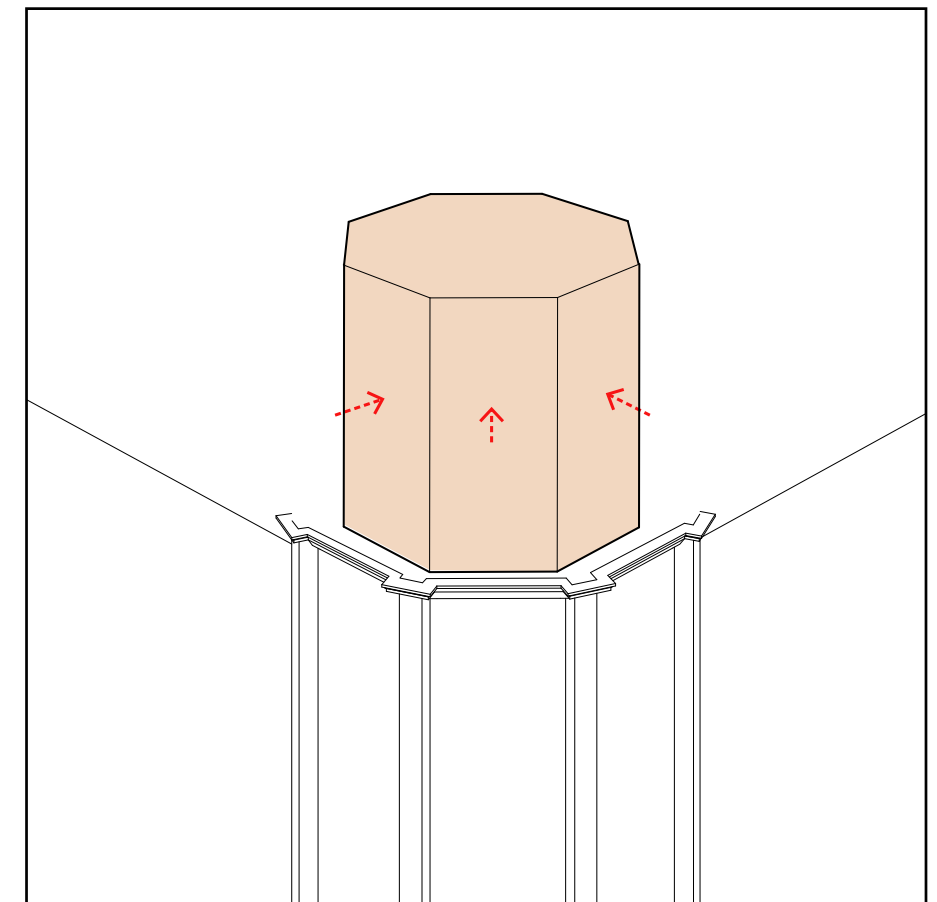
#### Dividing line between new and historic

The cornice at level six is established as the dividing line between new and historic. From this line the existing stone façade will be removed.



#### Tower detached from façade line

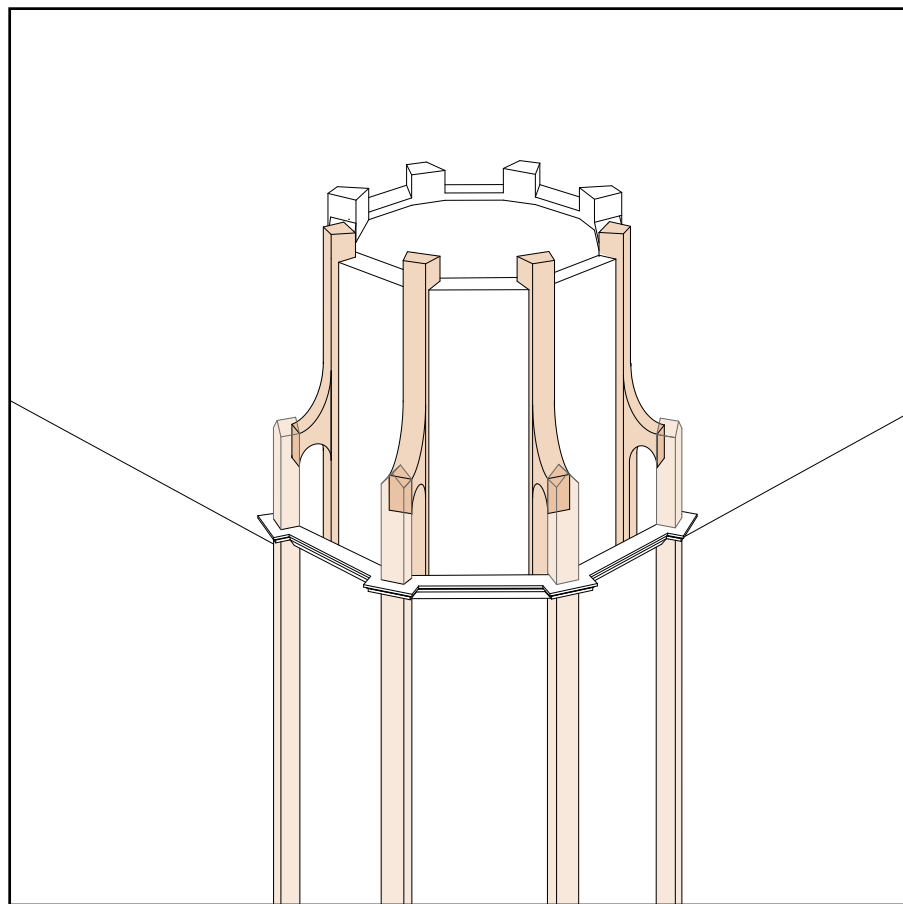
The new tower is detached from the façade line creating a three-sided balcony at sixth floor.





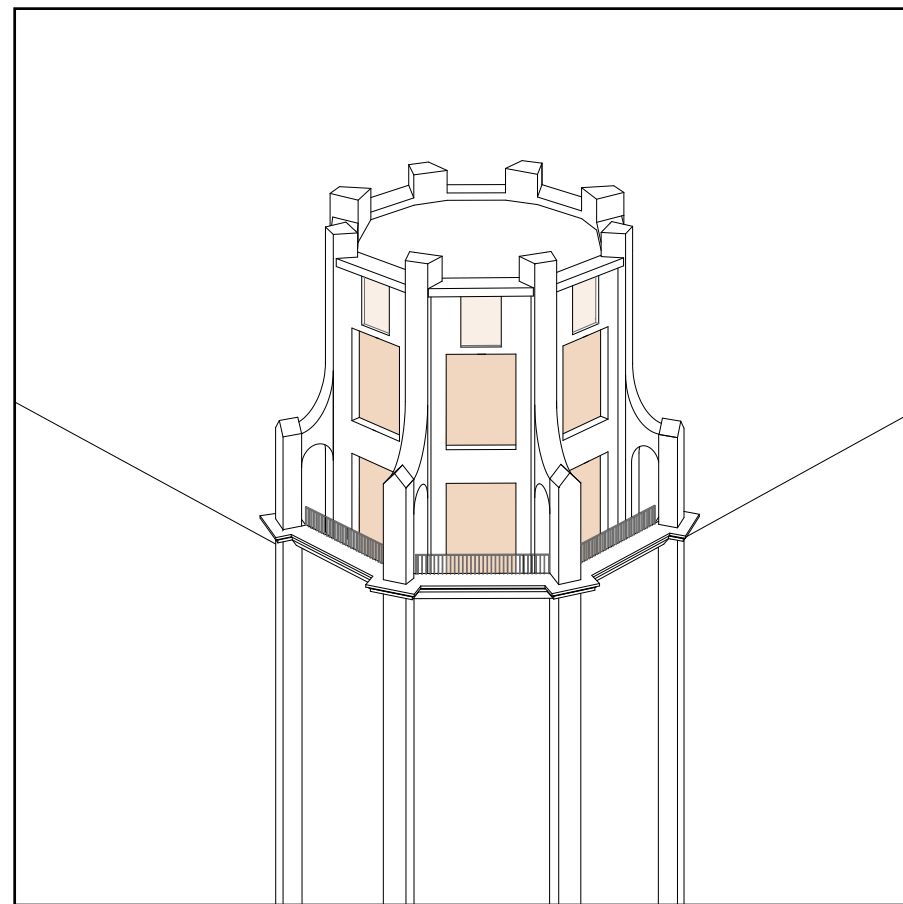
## Articulation between façade and tower

Flying buttresses will connect the stone piers of the façade with the new tower.



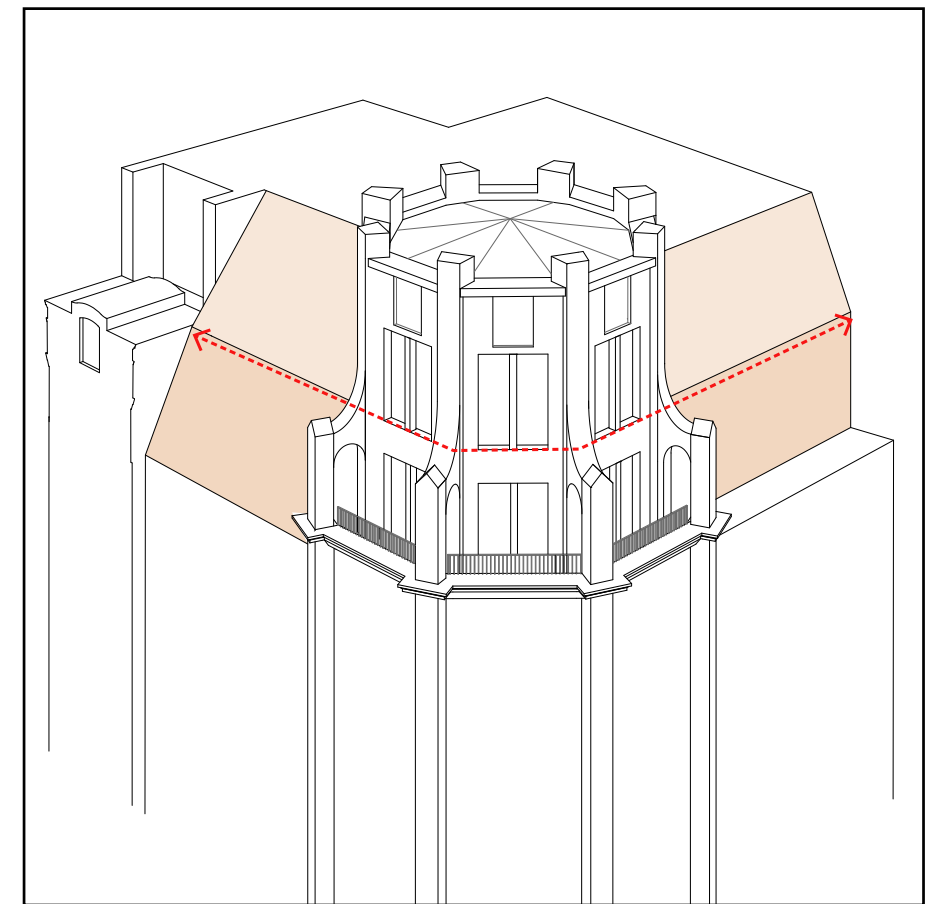
## Openings

The ambition is to maximise the light and the views from the tower whilst being respectful to the historic façade. The existing symbols will be relocated on top of the openings.



## Relation with the mansard roofs

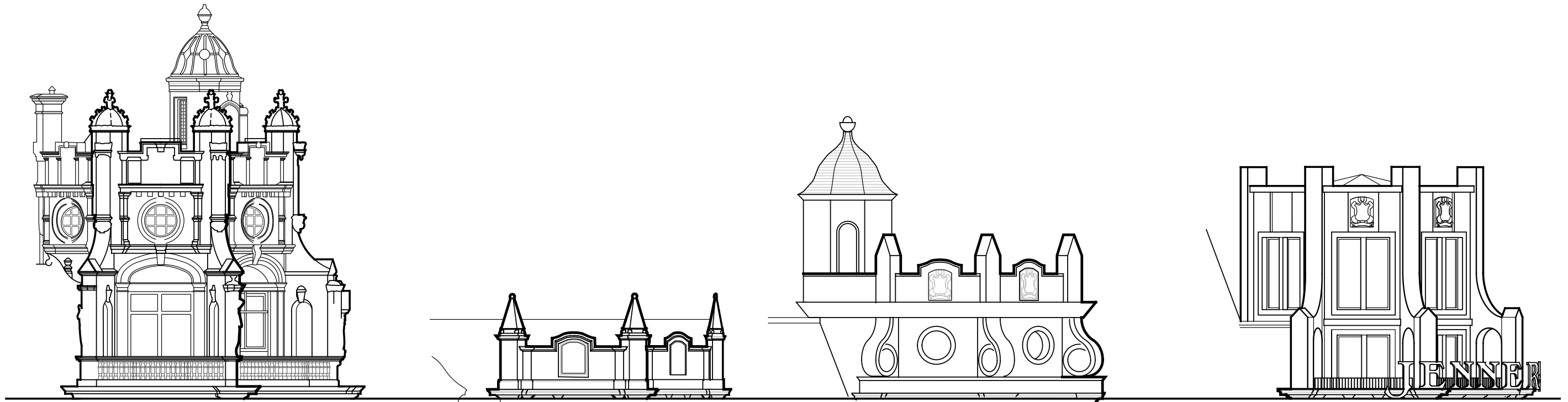
The tower geometry and the mansard extensions will follow the same line of the existing roof eaves creating a balance at both sides of the tower.



### 6.3.14 Tower scale and articulation

During the process of designing the tower, the proportions and scale of the south tower were taken into account, as well as the design of the existing north corner and the tower proposed in the historical drawings.

The corner of Princes Street is the most prominent and important of the building, which is expressed in the exuberance of the decoration of its façade. The new tower must bring balance and symmetry to the building but must not compete with this tower. Its proportions and lines must be simpler, following the most austere line of decoration on the 1905 extension façade.



South tower

North tower existing

North tower historic design

North tower proposed

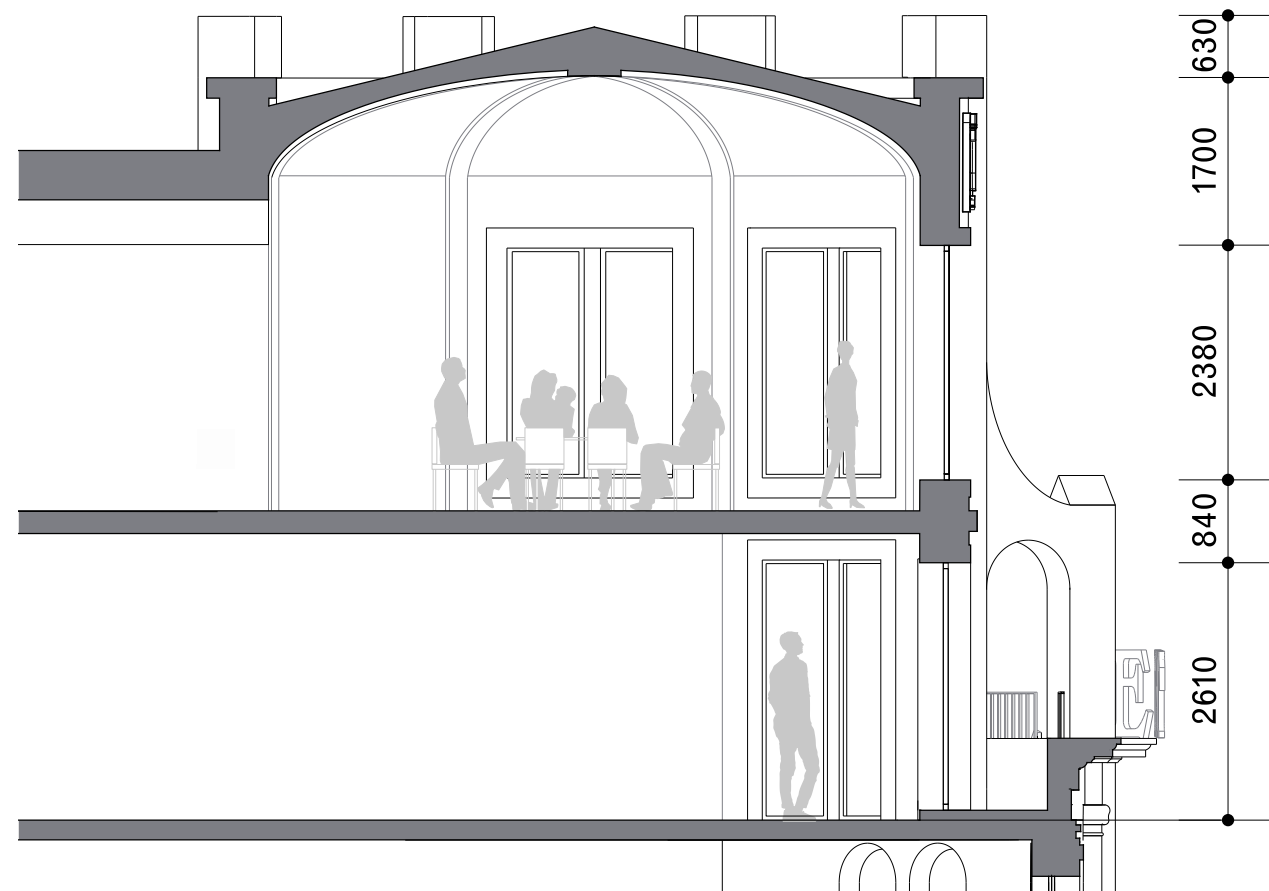


### 6.3.15 Tower section and elevation

The volume of the tower is divided into two levels. On the lower level (six) the interior space opens onto a continuous balcony through three windows. This balcony follows the octagonal shape of the tower on three of its sides, the flying buttresses that divide the balcony have arches that allow interconnecting its three sides. This space will be part of one of the best suites in the hotel, offering unique views of St Andrew Square.

The upper level of the tower (7) has four windows that will offer panoramic views not only of St Andrew Square but also of the Old City from its southwest window. All this space will be part of the hotel's roof bar located on the seventh floor of the Rose Street façade, which with its views and vaulted space will become one of its greatest attractions. It will be enjoyed by hotel guests as well as other visitors to the building, or be hired for special events.

On the outside, the compositional elements of the tower: the octagonal volume, the pilasters, the buttresses and windows are expressed in simple and pure forms, with a clear intention of being more contemporary while respectful of the historic façade. The piers of the façade are finished with triangulated forms, the cornices of the upper and central part are expressed with perpendicular geometries, just like the niches that house the stone symbols. The silhouette of the tower is emphasized by the projection of the pilasters in the eight corners of the octagon, increasing slightly in size to emphasise the shape of the tower against the sky.



Tower section



Tower elevation

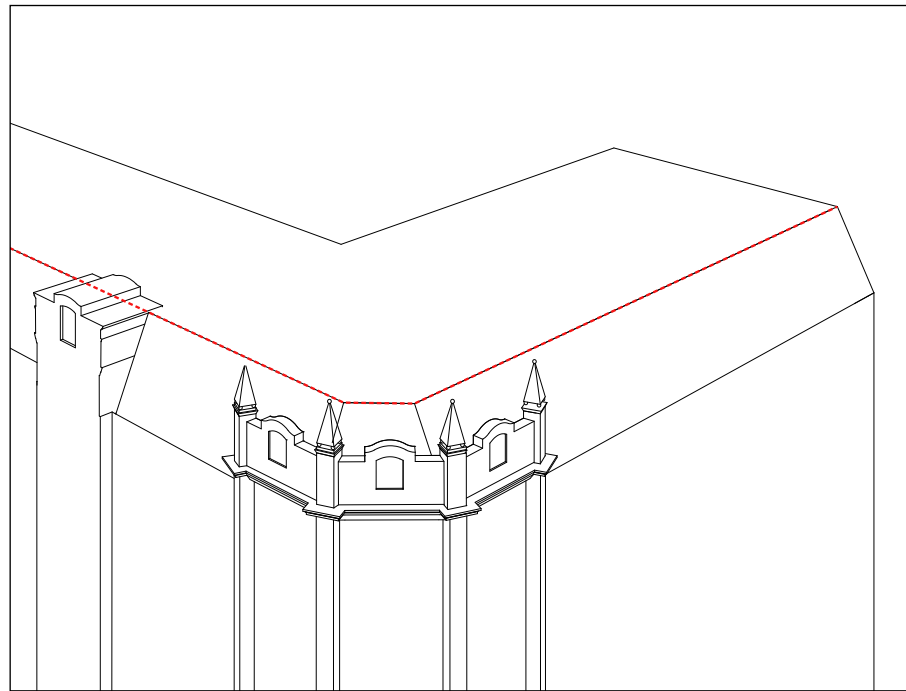
### 6.3.16 Rose Street roof extension

On the Rose street façade, it is proposed to replace the mansard roof on level 6 with a vertical stone façade that will follow a design and number of windows similar to that of the lower levels. This façade will shift slightly inward to align with the ridge line of the mansard, which extends the length of the tower and the mansard on South St David Street. This gesture allows for the symmetrical composition of the tower and will help make the extension of the roof on Rose Street less visible from pedestrian level.

The extension of level seven will be in the form of a mansard with five dormers that will be placed in the central axes of the stone piers of the lower levels, allowing a regular organization of openings and walls along the façade. These rectangular dormers will have a contemporary design and will offer unique views to roof bar users.

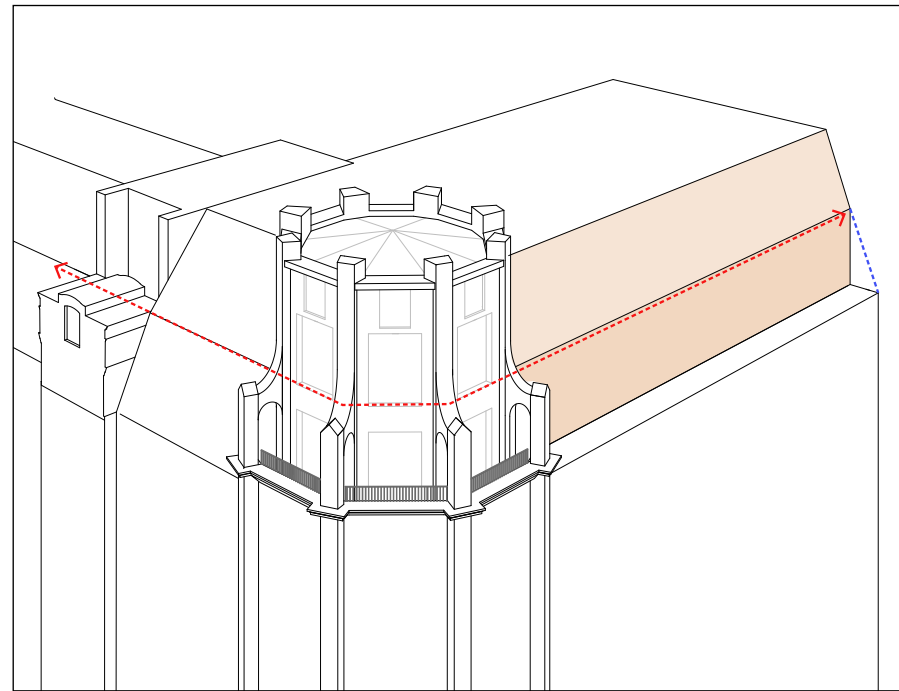
#### Existing mansard line

The design will keep the line of the existing mansard, reducing the visual impact from the street



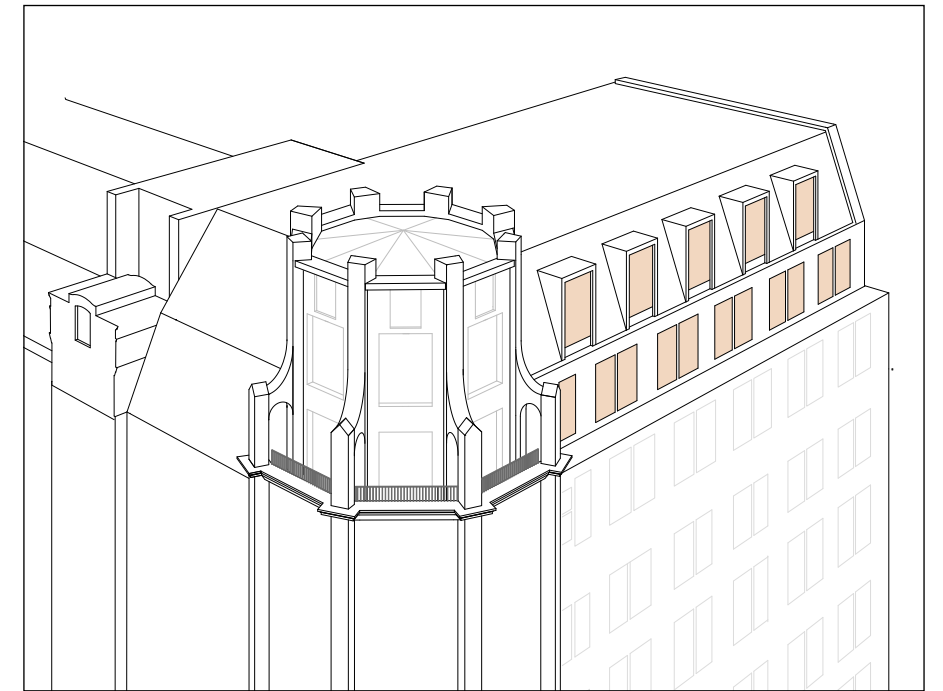
#### Volumetric

The sixth floor will be designed as a vertical wall for the hotel rooms, while the seventh floor will be designed as a mansard with the same angle as the existing



#### Openings

The windows in the sixth floor will follow similar dimensions as the other floors. In the seventh floor the dormers will have a contemporary design while being respectful with this historic façade





### 6.3.17 Façade response to the street levels

South St David Street has a pronounced slope and the façade of the historic building responds to this inclination by increasing the stone façade one floor so the four levels in Princes St increases to five levels in South St David St. In this way, the proportions of the façade are maintained along the the street.

The new design on Rose Street, proposes a similar approach, stepping up the stone façade one floor in this elevation, where the level of the street is higher.

- Tower
- Chimney
- Gable
- Balustrade/balcony
- Vertical circulation
- Large dormer
- Small dormer

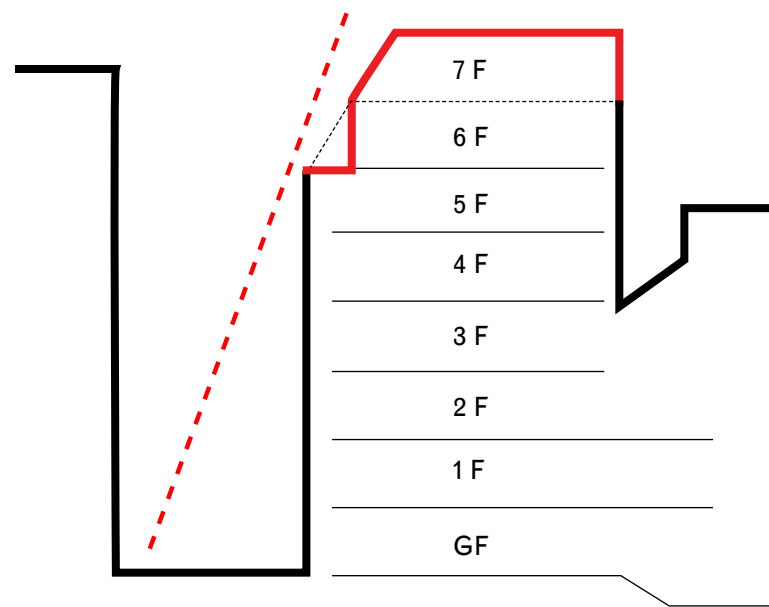
Stone façade



### 6.3.18 Integration in the street

The new sixth floor extension will be stepped back from the façade and it will align with the eave of the existing mansard. This will reduce the visual impact of the extensions along Rose Street, as the images in this page demonstrates.

The dormers to the new mansard roof are proposed to be of a contemporary design and scale. They will be placed in the central axes of the stone piers of the lower levels, allowing a regular organisation along the façade.



Rose Street diagrammatic section



Street view from Rose Street



## 10.2.19 Ornamentation

The façade of the 1905 extension is simpler in its ornamentation, with a clear differentiation between the exuberance of the corner facing Princes Street and the corner facing St Andrew Square, the decorative elements are simpler and less abundant in the latter. There is also a clear transition between this corner and the Rose Street façade where there is a transition from the ornate face of the department store to the secondary ordered warehouse aesthetic.

This hierarchy in the ornamentation, which establishes a clear differentiation of the façades according to the importance of the streets to which they are oriented, also responds to the different moments in which the building was built. This same approach is the one that has been followed for the extension of the tower and the façade of Rose Street. There is a clear simplification in the decoration, which responds to a more contemporary vision, but the elements of articulation (cornices, pilasters, buttresses, mansards, etc.) are the same as those of the historic building, which makes its more contemporary design integrate easily with the historic façade. In this way, this new intervention is shown as a contemporary element that responds to design canons of its time but respectful of the history of the building.



Aerial view of Rose Street façade



Rich ornamentation on Princes Street corner



Simpler ornamentation on Rose Street façade



### 6.3.20 Rose Street elevation and materiality

#### Proposed

The external intervention on the façade of Rose Street includes the repair and reinstatement of windows and shopfronts and the introduction of a new entrance for the hotel.

The roof alterations in this elevation includes (1) the new corner tower, (2) the re-design of the sixth floor façade to be a vertical wall to replace the existing mansard and (3) the introduction of a new mansard roof on seventh floor that will include five dormers.

The new façade on level six will be made of the same yellow sandstone used in the building and will follow the same design principles as the lower levels, incorporating six paired windows of similar proportions that will include the central vertical element in stone and timber frames to match the existing.

All the elements of the tower will be in yellow sandstone, the windows will include a vertical stone element similar to that presented by the windows of the lower levels of the tower and the frames will be in timber to match the existing. The railing of the balcony will be metal with a simple design that makes it almost imperceptible from street level.

The main material for the new mansard extension will be slate to match the existing and coursed to match. The five rectangular dormers will be clad in metal to match the appearance of the dormers in the other façades, the window frame will be of timber with a vertical mullion that will allow them to be opened.



Rose Street proposed elevation





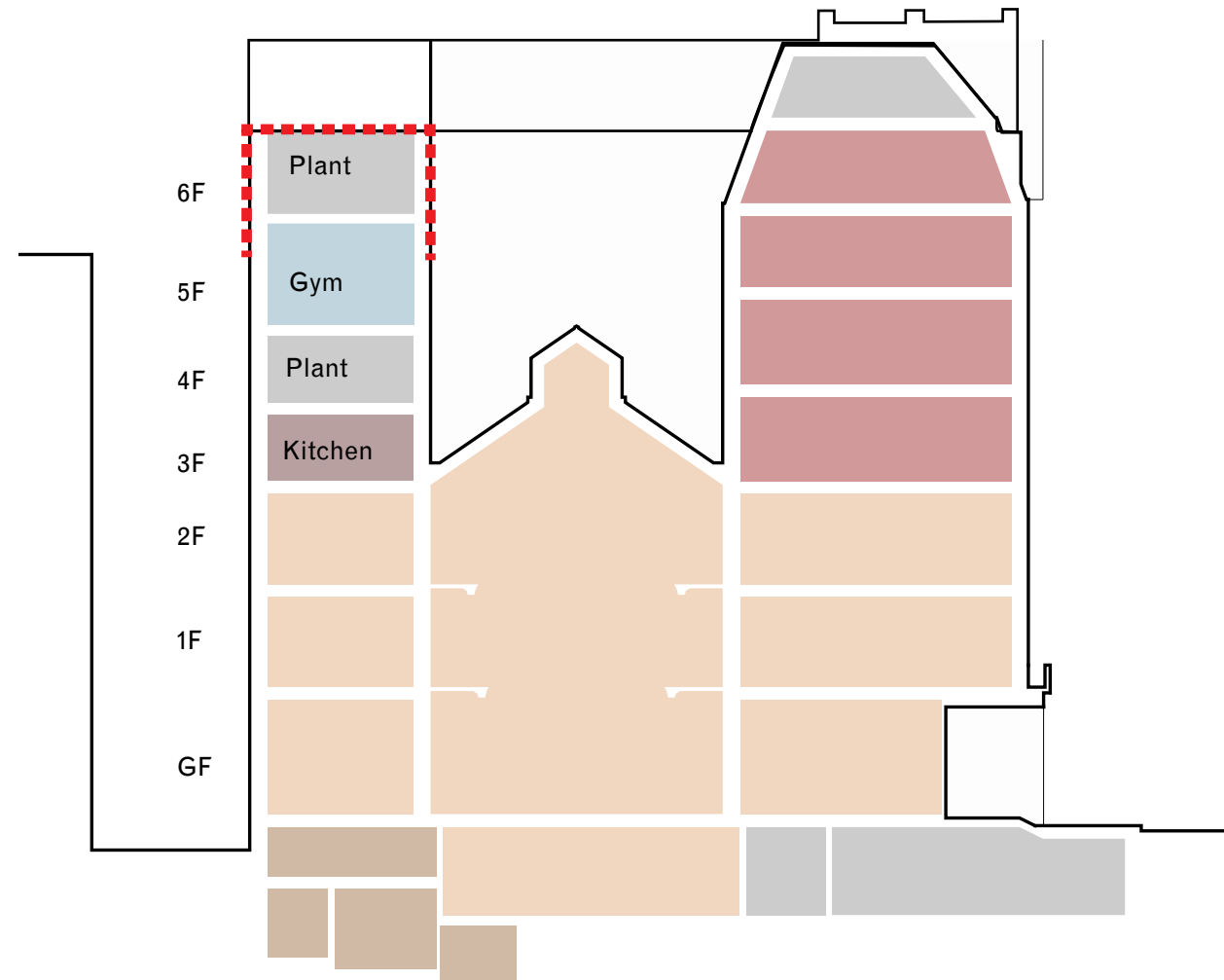
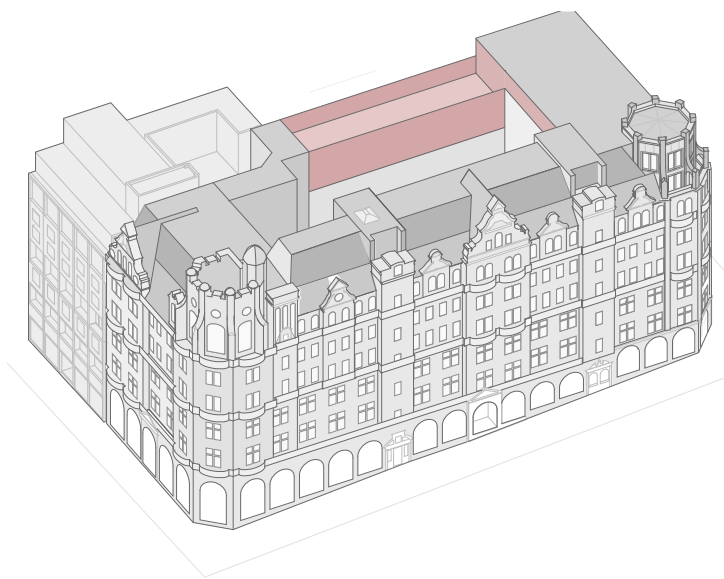


### 6.3.21 West wing extension and courtyard façades

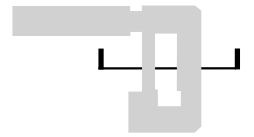
The west wing is the least visible volume of the building from the street and will be used primarily for services and back of house.

This wing will be extended by one floor (level six), to accommodate plant requirements. Level five will be used as a gym and will also be extended in height to improve the interior space, also increasing the size of the windows, improving the natural lighting of the room and allowing some views of The Old Town and The Mound from the west façade.

Although this volume is not visible from street level, it can be perceived in the panoramic views from The Mound. For this reason the volume was studied with special care to avoid a possible visual impact from The Old Town. It was also important that this extension does not obstruct the entrance of natural light to the atrium area.



Proposed cross section





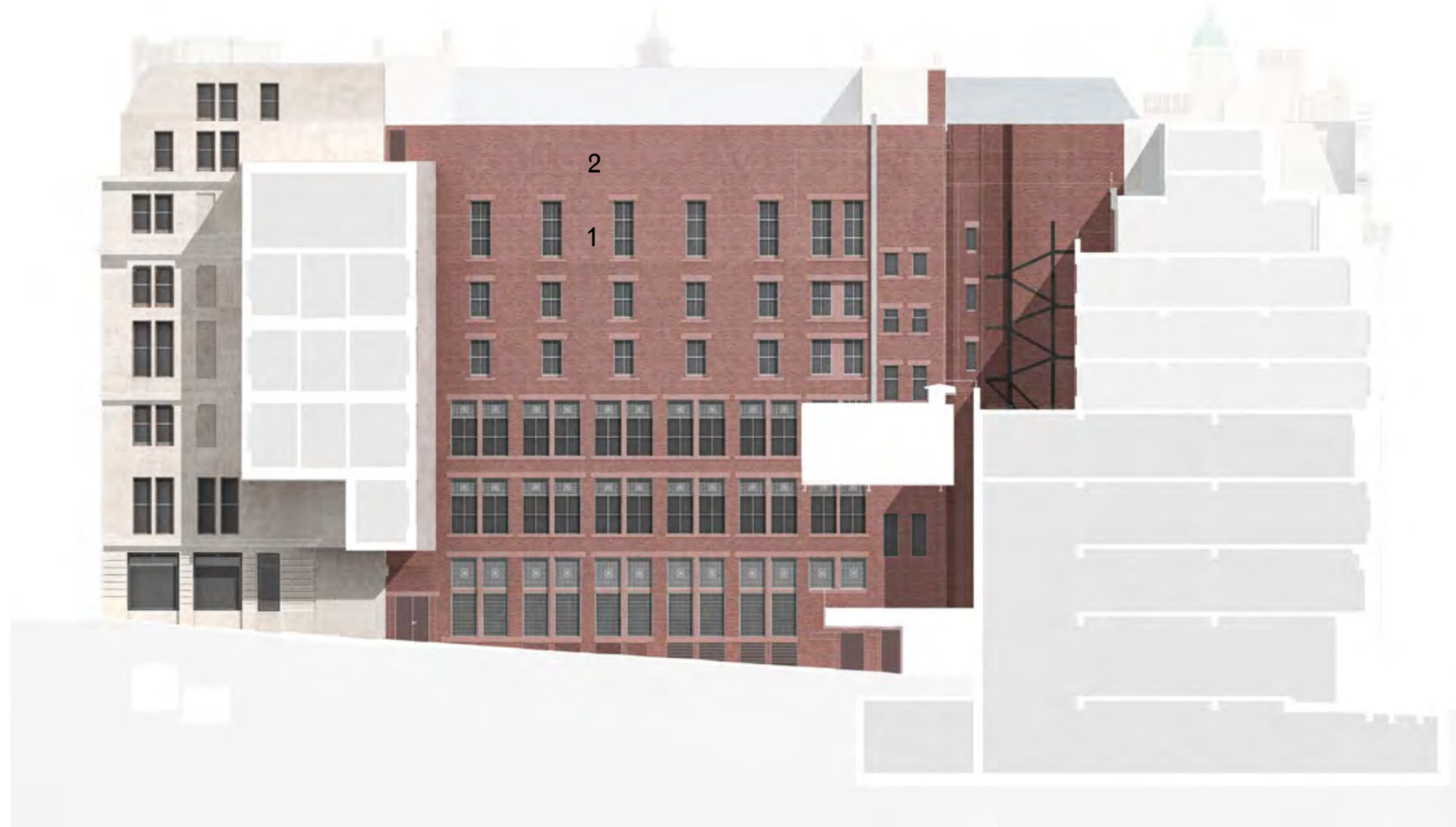
### 6.3.22 Atrium west elevation and materiality

The exterior interventions on the west façade of this volume includes the repair and reinstatement of windows, (1) the increase in height of level five, also increasing the height of the windows and (2) the extension of one more level, level six, for the roof plant.

The façade of this extension will continue with the same red brick to match the existing façade and minimise its visual impact.

This extension presents some structural challenges so it is possible that the level six wall of this façade will have to be rebuilt with a lighter construction system, if the reuse of the bricks is not possible, they will be replaced by bricks to match existing colour, size and course.

The extended windows will feature the same design and frame material as the existing ones, with the vertical and horizontal mullions to match the proportions of the existing frames and the concrete lintel on top to match the existing.



### 6.3.23 Atrium west elevation and materiality

The exterior intervention on the atrium façade of this volume includes (1) the increase in height of level five, also increasing the height of the windows and (2) the extension of one more floor, level six for the roof plant.

The façade of this extension will continue with the same white glazed brick to match the existing façade and minimise its visual impact.

The strategy in this façade is to maximise the reuse

of glazed bricks removed from other areas of the atrium, completing the façade with new glazed bricks treated to match existing colour, size and course.

The new windows will feature the same design and frame material as the existing ones, with the vertical and mullions, transoms and concrete lintels to match the proportions of the existing windows.





### 6.3.24 View from The Mound

The design of this extension has been studied in detail to minimise the visual impact from The Mound. The extension consists of a uniform rectangular volume that goes unnoticed from a distance in contrast to the formal complexity of the roof plant of other adjacent buildings. The change of materials (stone, red and white brick) of the different façades and the presence of windows on level seven contribute to enriching the view from The Mound.



Closer view from The Mound



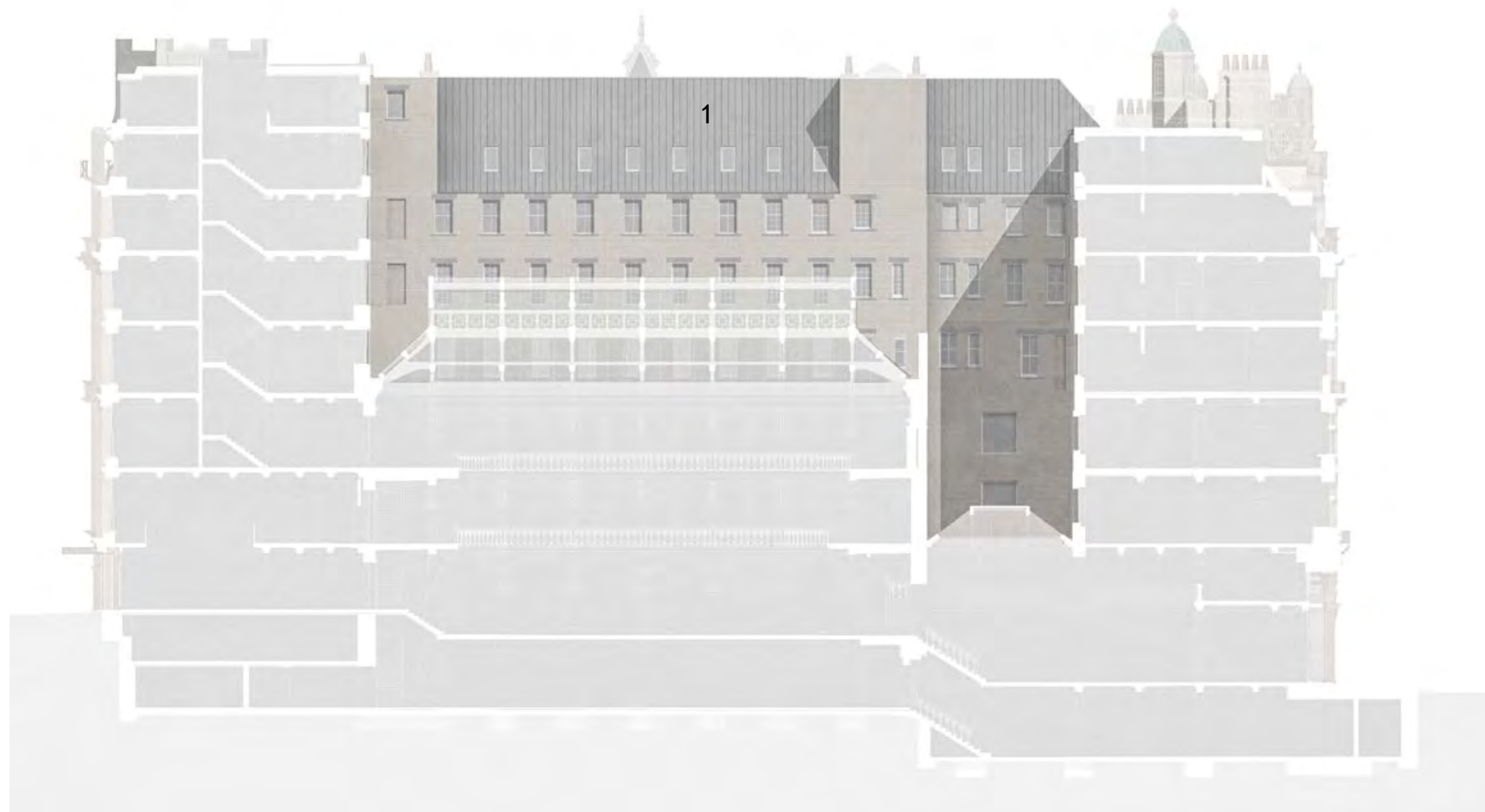
View from The Mound



### 6.3.24 Atrium east elevation and materiality

The exterior intervention on the west façade of the atrium includes the repair and reinstatement of windows to follow the original design, the replacement of the drainage system and the substitution and reorganisation of the windows of level six so that they follow the same number and rhythm as the windows of the lower levels.

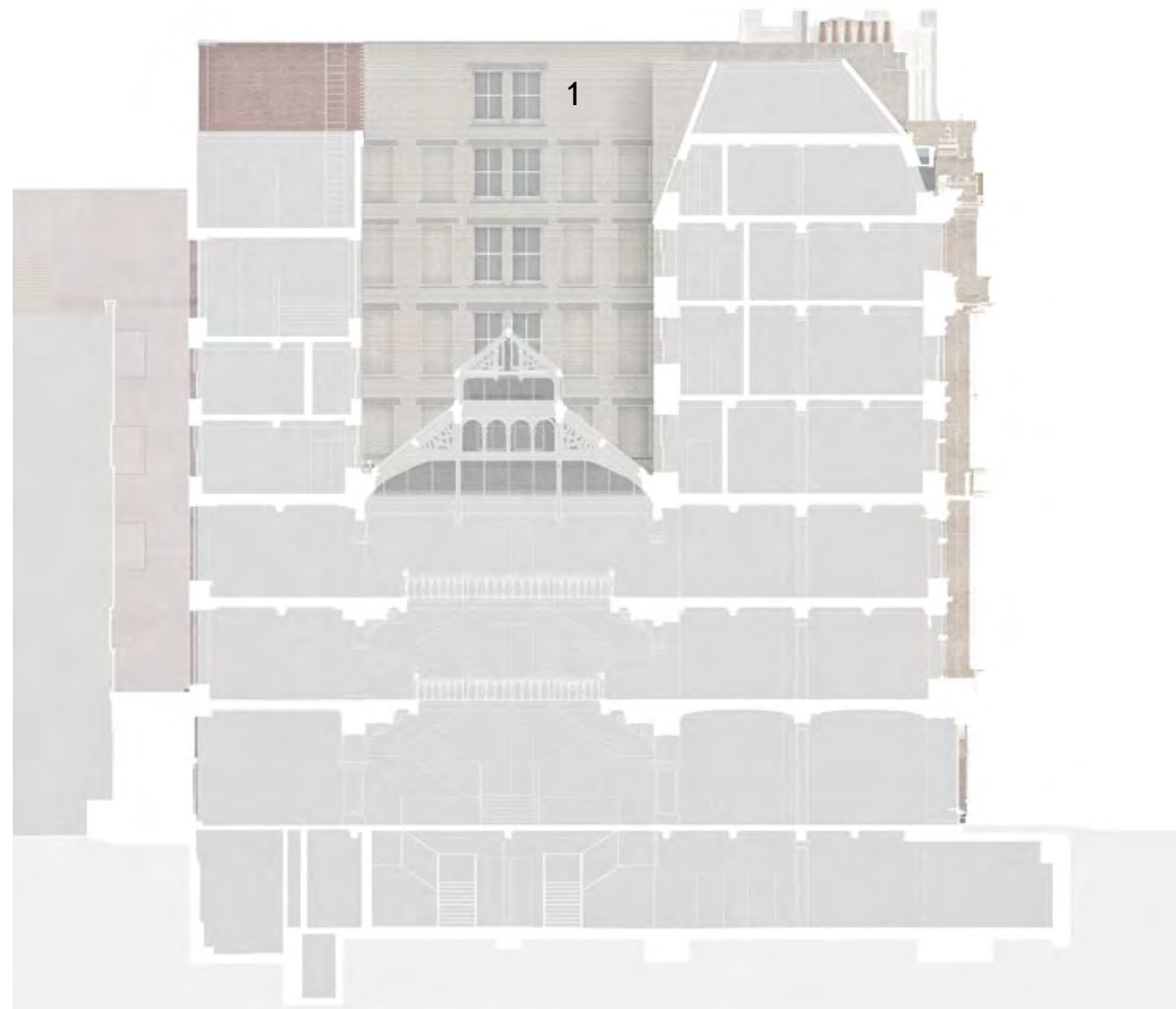
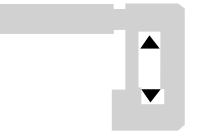
The roof alterations in this elevation includes (1) the mansard extension that will continue with the same angle and the same zinc finish as the mansard in level six.



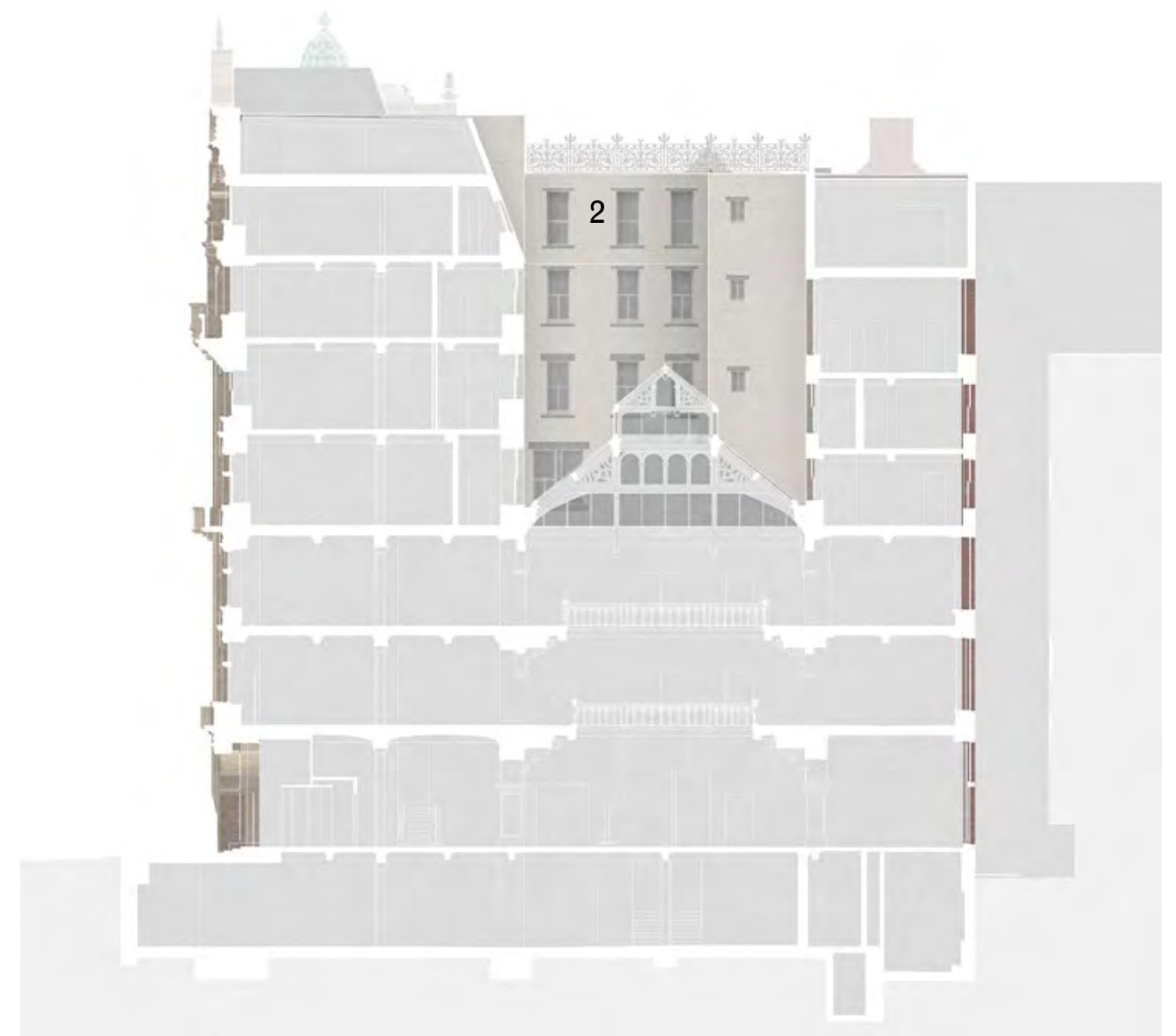


### 6.3.25 Atrium north and south elevation and materiality

The roof alterations in this elevations includes, on the north façade (1) the extension of the level seven for the bar that will continue with the same material as on the lower levels, red brick on the west side and white brick on the central and east side. This extension will include two windows in the centre of the same dimensions as the windows on the lower levels. On the south façade (2) the extension of the level six will continue with the same glazed white brick as on the lower levels. This extension will include four windows.



Atrium proposed north elevation



Atrium proposed south elevation

## 6.4 Rose Street building



## 6.4.1 Existing condition

1 The Rose Street building was constructed in two phases during the 1960's and 1970's. It is not listed and is noted as of neutral historic value to the Jenners buildings in Turley's Heritage Statement. It is proposed that this building is refurbished to accommodate hotel rooms, back of house and plant.

2 The existing brick façade to South Lane can be retained and extended, with minor amendments such as replacing windows and rationalising services.

3 This photograph, looking west towards the castle, shows the immense build up of service plant on the roof of the Rose Street building. The proposal is to strip out all of these services and relocate all new plant equipment out of sight in internal, enclosed spaces. This presents an opportunity for an accessible green roof.

4 The existing bridge link connects retail floors of the main building with additional shop floors in the Rose Street building. Only the bridge link to the rear connects at first floor, due to the level change down the servicing lane.



1 – Rose Street looking East



2 – Rose Street South Lane with bridges owned by Marks and Spencer



3 – Rose Street roof condition with exposed plant equipment



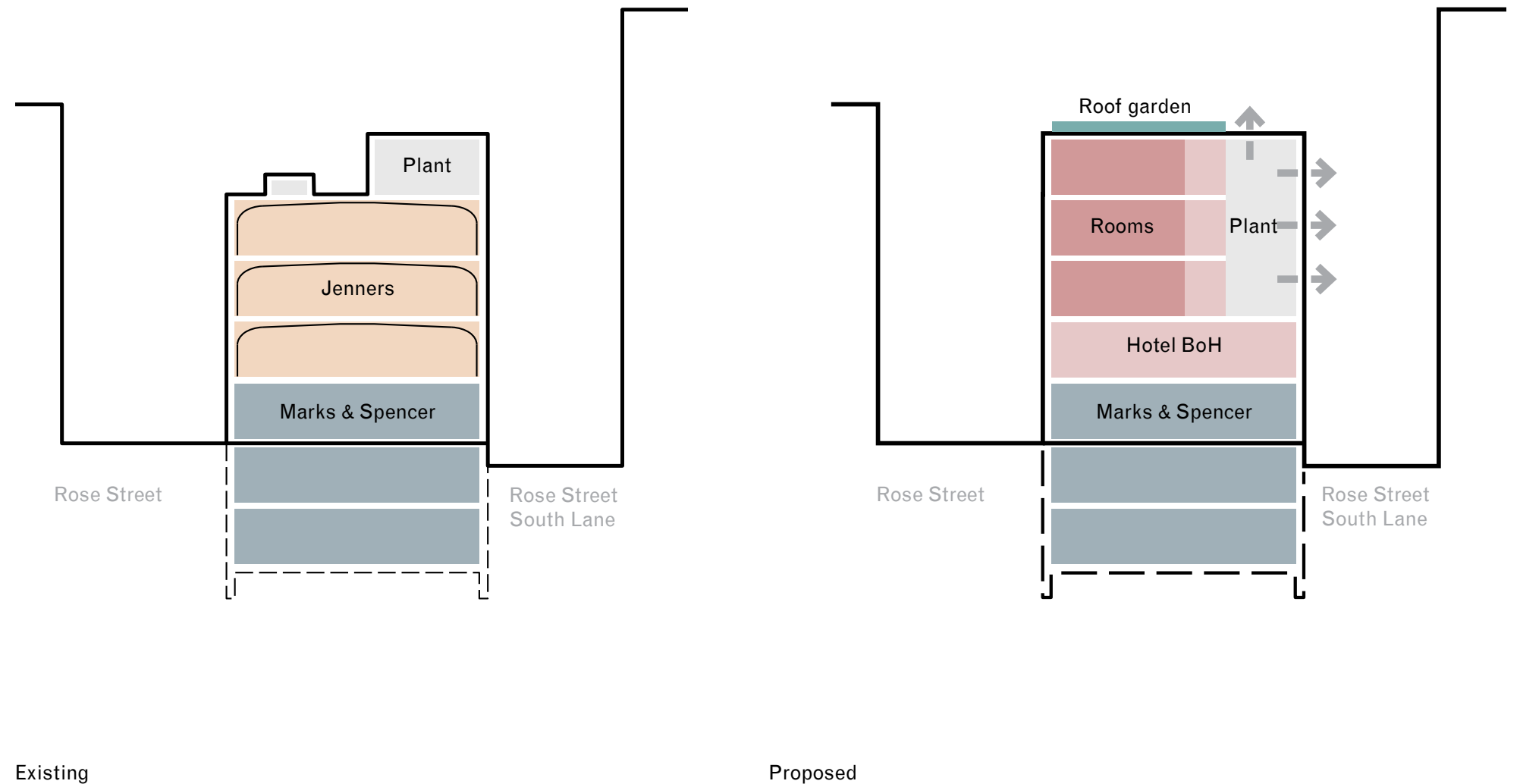
4 – Bridge link between 1905 extension and 1960's building

## 6.4.2 Programme

The building was designed as an extension to Jenners' shop area with large open floor plans. While the ground floor and basement floors will continue to be occupied by Marks & Spencer, the upper floors will be dedicated to the new hotel use, with guest rooms on second to fourth floor and the first floor dedicated to good quality BoH operational space.

Rooms overlooking Rose Street South Lane, a narrow service street, would be of insufficient quality for the New Jenners hotel. Therefore, the proposal locates back of house and plant rooms on this side of the building. The fourth floor of this elevation can be left open to the elements and provides an ideal location for the air source heat pumps that require a large volume of uninterrupted air flow. These will be discretely screened with a louvred façade.

Maintaining a clear height of 5m beneath the bridge link, as prescribed by Transport Scotland, restricts the ability for a front of house connection to the Rose Street building. Therefore, the first floor has been programmed for retail and hotel back of house spaces.

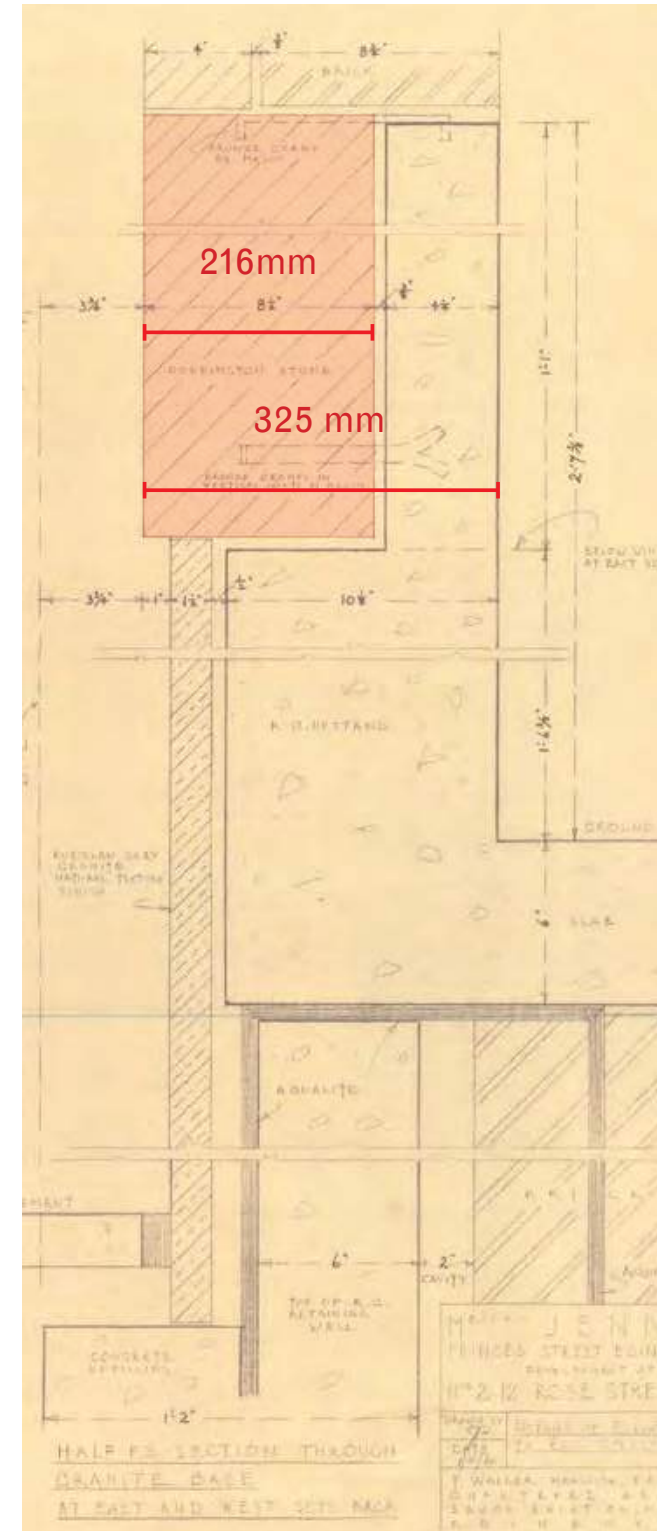




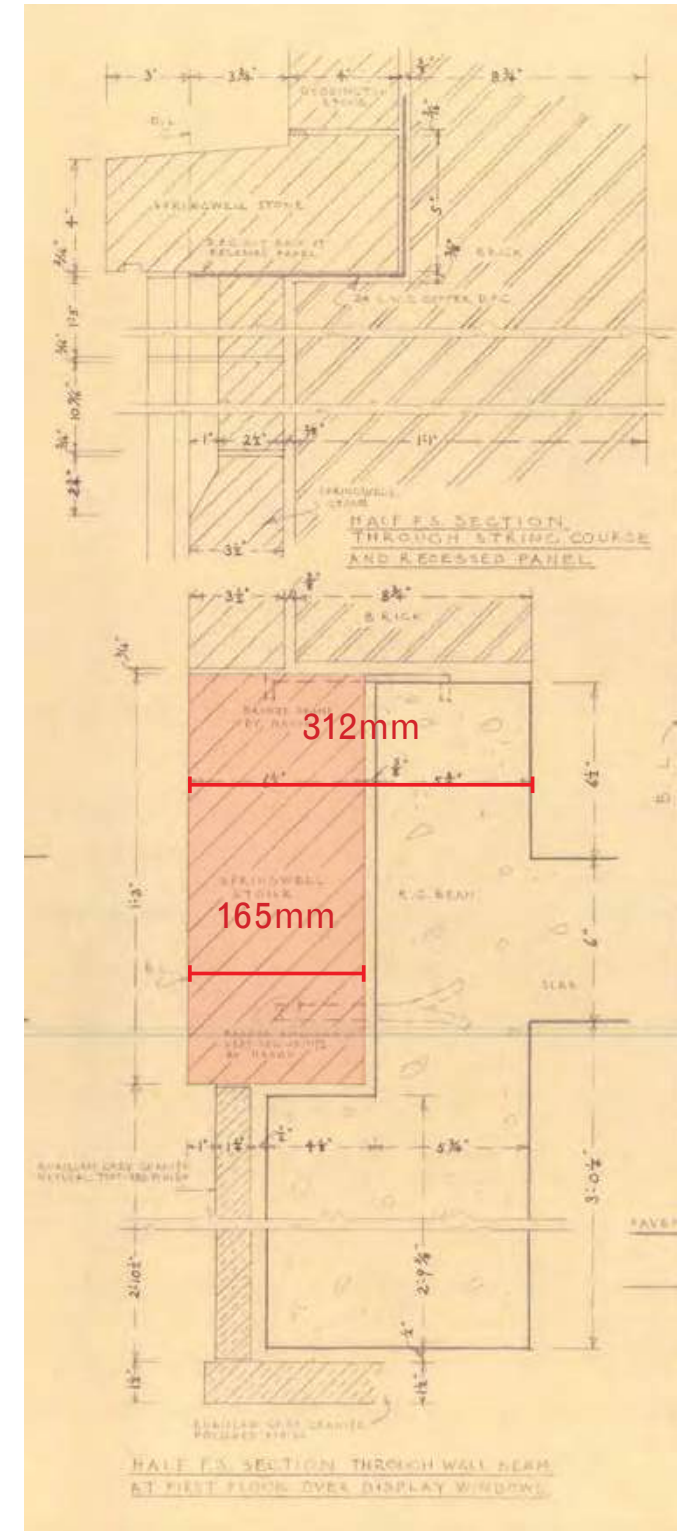


Structural investigations into archive drawings document the deep build-up of the existing Rose Street façade of brick and stone, supported on a concrete superstructure via façade beams.

The original construction drawings on the right illustrate the solid masonry construction and the lack of any thermal wall insulation or cavity. The drawings also confirm the use of Rubislaw grey granite on the ground floor in the original construction.



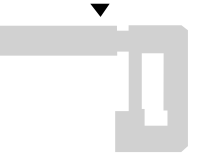
Doddington stone



Springwell stone



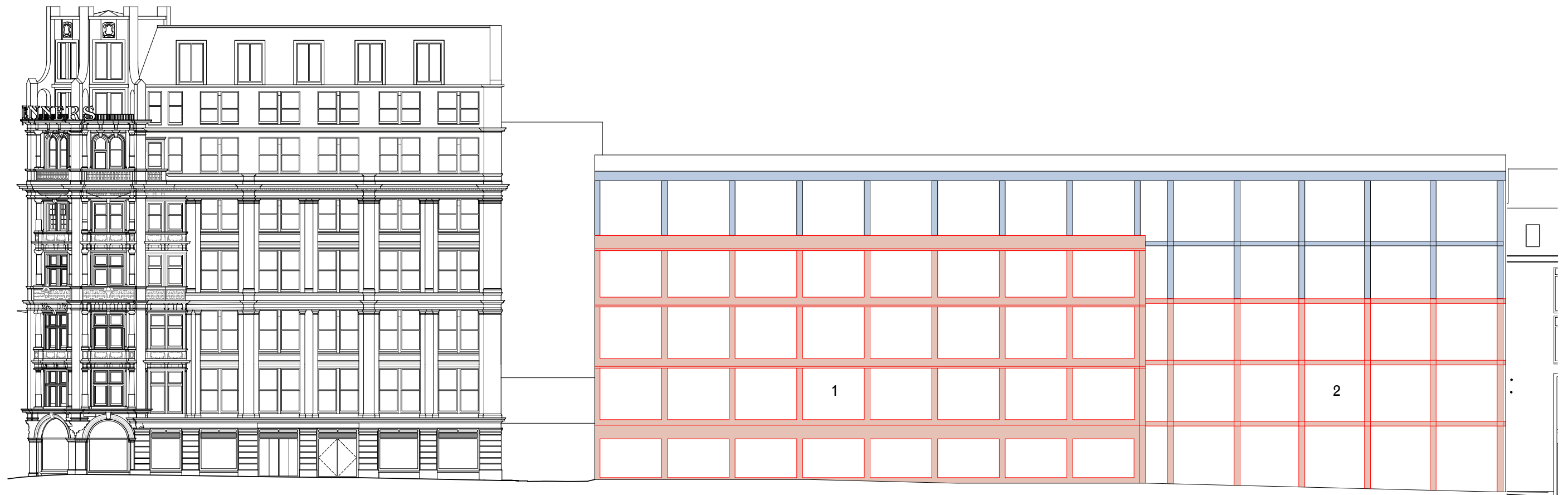
## 6.4.4 Structural investigation



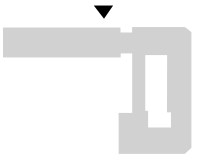
The Rose Street building was built in two stages and features two different structural systems. The 1960s 2–12 Rose Street has a concrete framed superstructure (1) whilst the 1977 extension consists of concrete encased steel columns (2).

With the existing plant and machine rooms omitted from the roof, the structural investigation confirmed that one additional accommodation floor – shown in blue in the drawing below – can be supported. This strategy allows unification of the structural systems and avoids a full reconstruction whilst creating the additional floor space required.

The existing structural grid of approx. 4.4m is well suited to accommodate generously dimensioned hotel guest rooms.



## 6.4.5 Proposed façade



Replacing the existing Rose Street façade which is of neutral architectural quality with a new, higher performing stone façade, presents the possibility for an overall improved streetscape as well as the opportunity to achieve significant fabric performance enhancements.

With the additional floor the new Rose Street building reflects the principle hierarchy of the existing historic Jenners building with a differently expressed ground floor and four principle upper floors up to the main cornice line. The length of the new façade is structured by two solid stone-clad bays, reflecting a change in the structural system as well as the location of a stair core on the east side.





## 6.4.6 Articulation of historic façade

The historic Jenners building façade on Rose Street has a clear vertical articulation through “T” and “U” profiled columns, framed within strong cornice lines. Deep recessed windows are a common feature in the New Town’s historic architecture.



Elevation and photograph highlighting “T” and “U” shaped stone elements



Similar to the historic building, the new façade for the Rose Street building is designed with strong cornices and a slightly emphasised parapet to give the building horizontal structuring and depth.

The deep build-up of the proposed stone façade resonates with the articulation of the historical Jenners' façade and reflects its character.

The vertical stone piers, following the structural grid, and horizontal cornice lines defining the principle façade rhythm which is further defined through the window design.



View from St Andrew Square



## 6.4.7 Façade detail

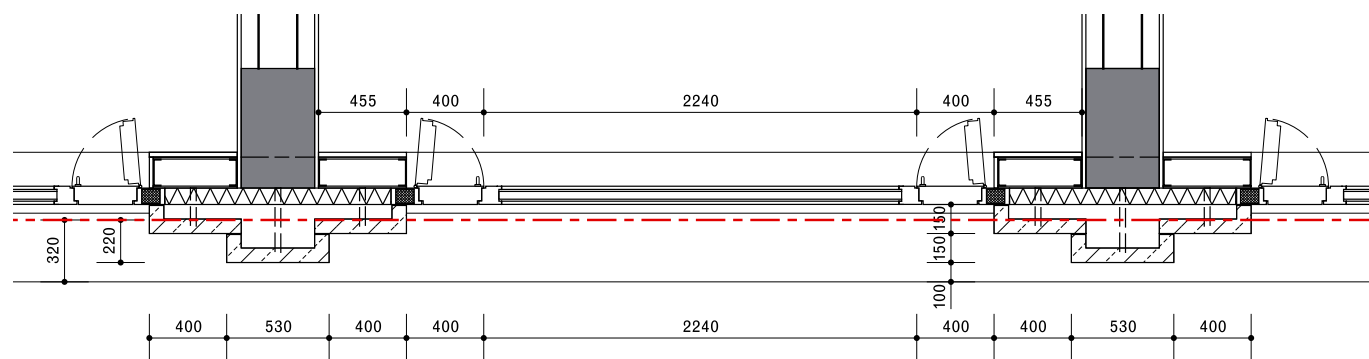
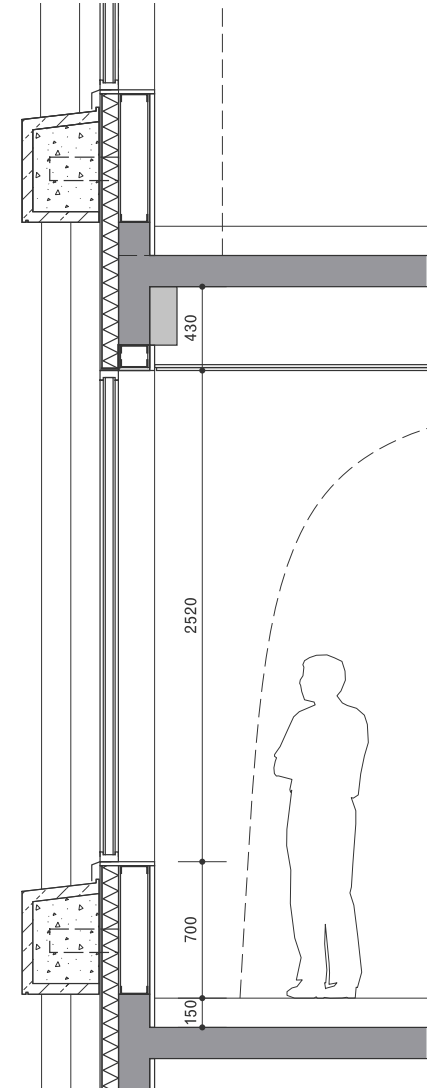
Starting with the retained structure, the new façade proposal creates depth and articulation with vertical stone pilasters and horizontal cornice lines.

A new self supporting stone cladding of 75mm thick stone pieces introduces two steps in plan of 150mm each. Together with the expressed cornice lines on each floor this results in a finely articulated façade that is consistent over all floors.

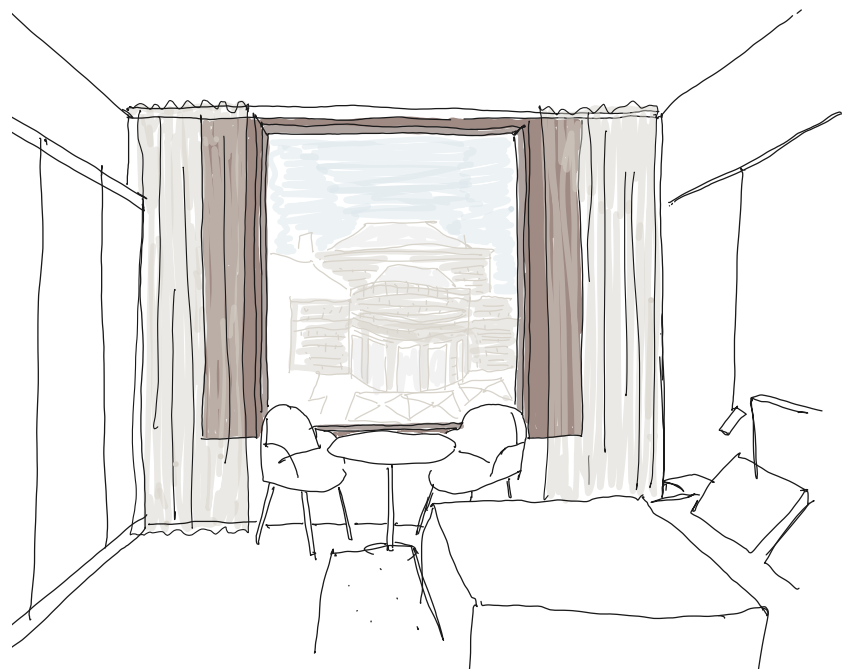
High performance insulation and a metal framed window system define a new thermal envelope for the existing structure, that will put the thermal line outside of the existing structural frame and reduce the risk of condensation. As a consequence of the thermal fabric improvements the new façade will project further than the existing as shown in the plan drawing below.

The window element is designed principally for the hotel room and consists of a generous fixed window and two solid ventilation panels either side. It is framed by a solid top panel and a pressed metal sill. The same window design is proposed for the office accommodation on the first floor and provides ample daylight as well as natural ventilation.

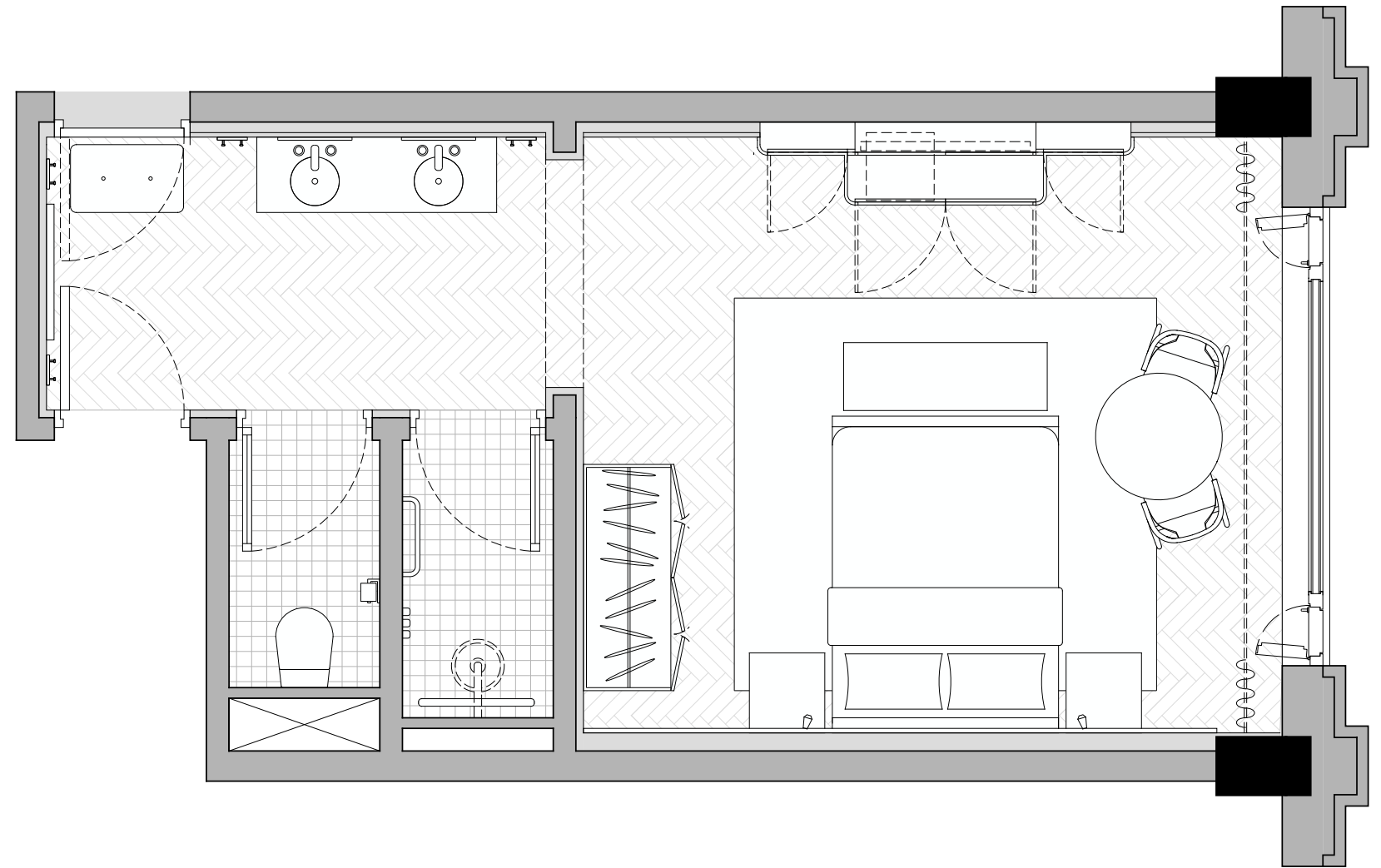
To allow for the additional fourth floor the new façade is proposed as a comparatively lightweight stone cladding, balancing the overall loads of the new façade of five floors to that of the existing solid masonry construction over four floors.



Internally, the window aligns with the suspended ceiling and is raised by 700mm, table height, from the floor. The clean, symmetrical façade idea gives a free floorplan for a flexible room fit-out, as well as privacy in the urban context.



Interior view



Type A hotel room





View from Rose Street

## 6.4.8 Materiality

New Town was built from a broad range of stones that vary in their origin, type, quality and hue to form a rich blend of masonry stonework that defines the character of Rose Street and that of Edinburgh as a whole. The choice of material for the new façade is informed by the diversity found along Rose Street and the aspiration to be distinct from the principal Jenners building.



\*\*\* subject to confirmation by petrographic analysis



A unique feature of the historic Jenners Building is its ground floor pilasters embellished with a pink granite, a design feature that was later copied less successfully on the ground floor of the Rose Street building.

During the research into the the existing building the design team was offered expert advice from Professor Gordon Walkden from Aberdeen University stating:

“...from the standpoint of Scottish Heritage Granites, it [the Jenners Building] is one of the most important buildings in the UK. The ground floor decorative granite is the rare pink/beige Hill o’Fare granite from Banchory, seldom seen outside Deeside...”

The Hill o’Fare granite is often mistaken for the lesser Peterhead type which was more widely used, but has a coarser appearance.

The plinth and bench detail in the historic Jenners building are made from Rubislaw grey granite, which was originally used for the ground floor of the Rose Street building and window recesses.

A variety of stone was used on the 1960/70s Rose Street building, including Doddington pink sandstone and yellow Springwell stone on upper floors. Doddington sandstone is still available today and has good properties for modern construction methods. It is proposed to construct the new Rose Street building façade from this pink sandstone.

The potential re–use of the existing Doddington stone is being targeted in the construction of the new new bridge link and the 1905 building’s gable wall repairs.



Hill o’Fare on South St David Street elevation



Hill o’Fare



Peterhead

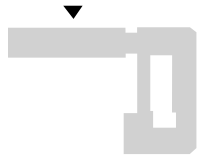


Doddington sandstone on Rose Street façade

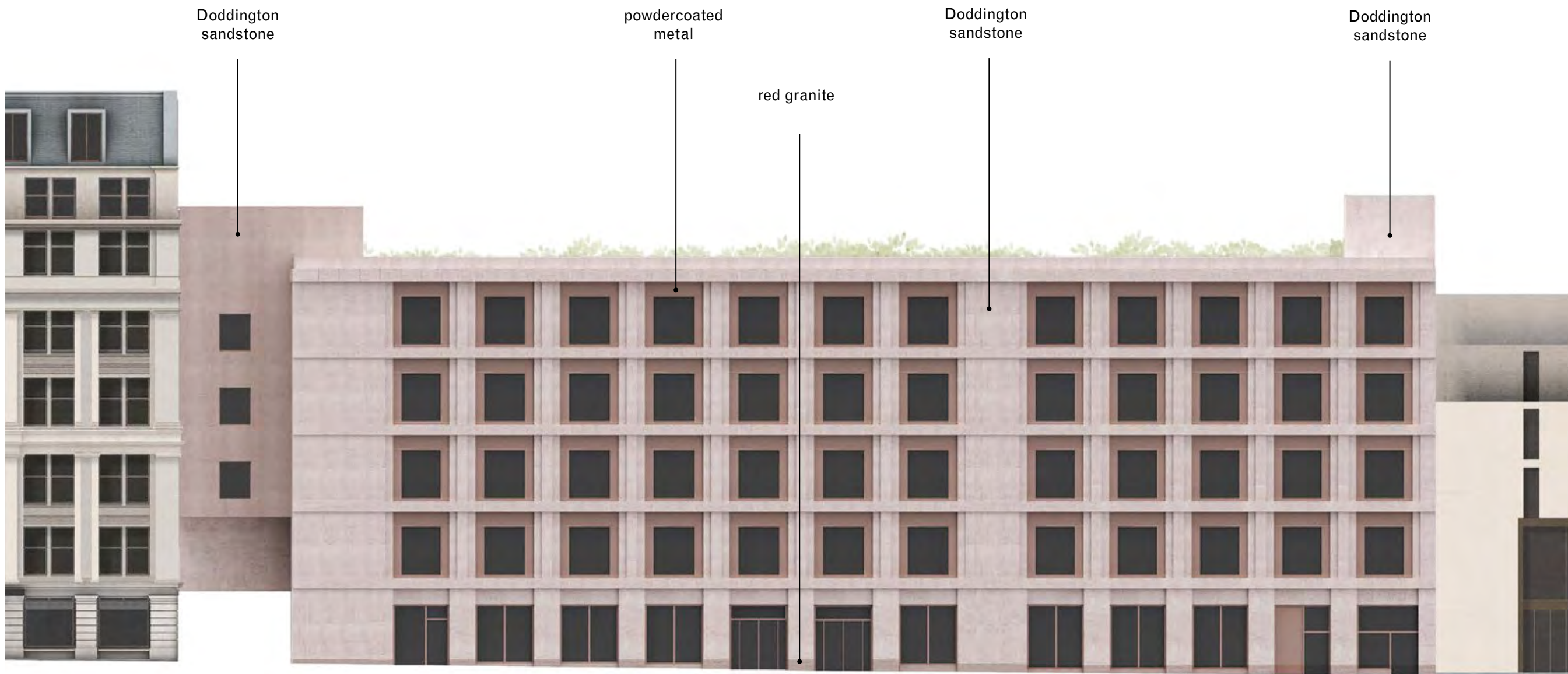


Doddington sandstone





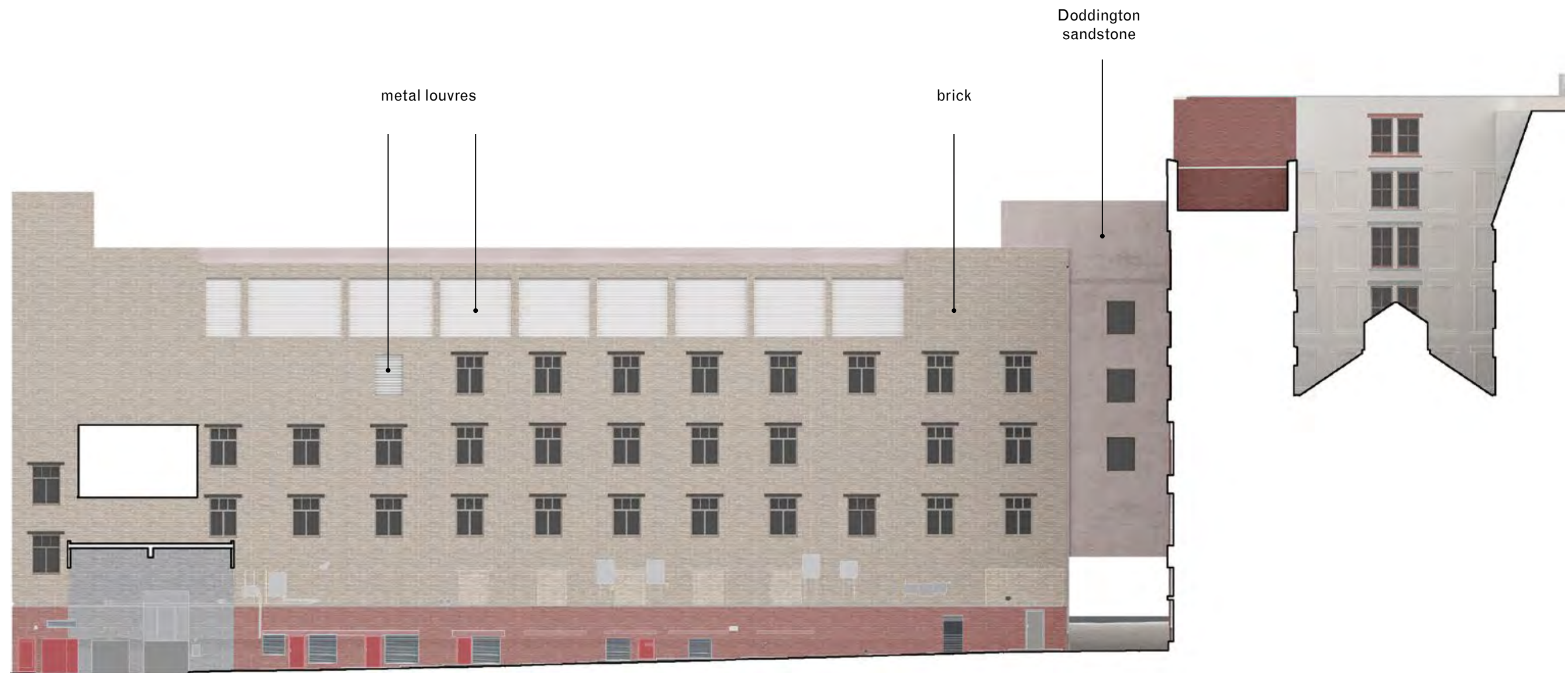
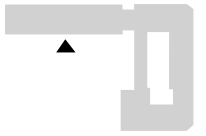
The new Doddington sandstone façade distinctly differs from the principal Jenners building as well as the Premier Inn to the right. The powder-coated metal windows match the tonality of the sandstone, but are a darker hue.





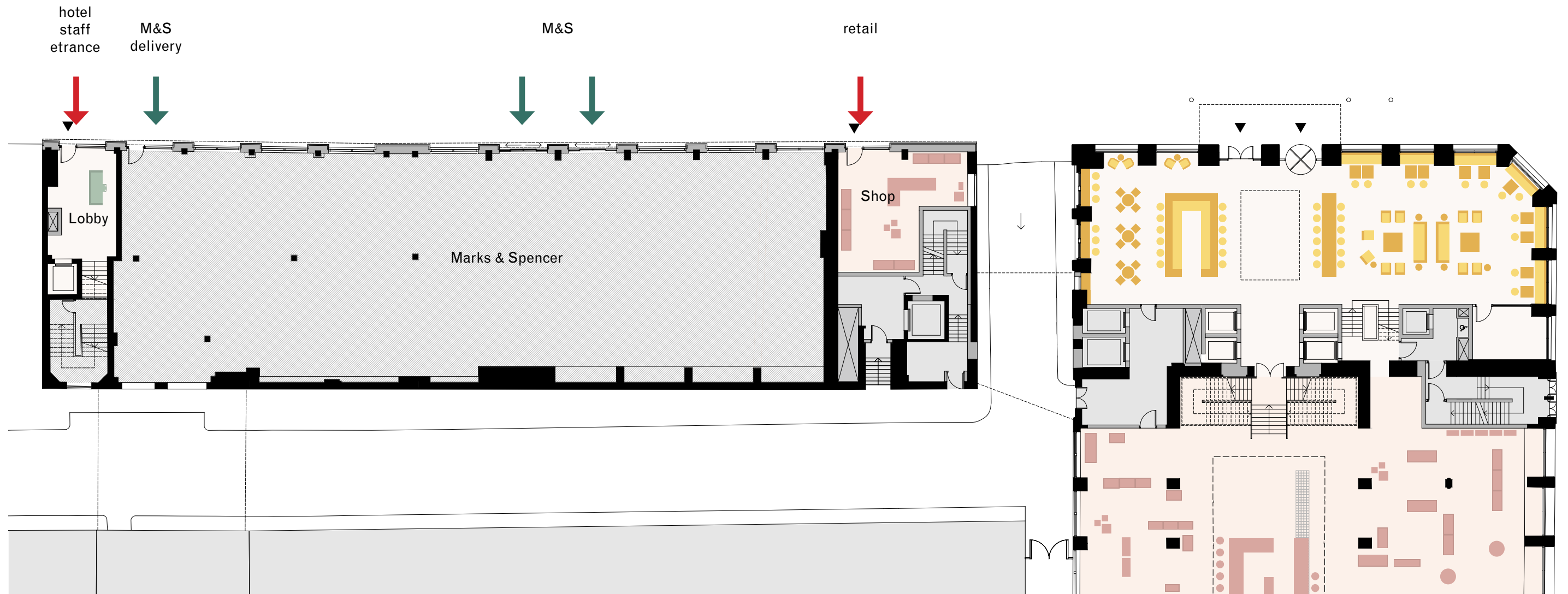
## 6.4.9 Proposed Rose Street South Lane façade

The back façade made from red and yellow brick will be retained and extended by a matching yellow brick. The existing windows are to be carefully restored and reused and will fulfil thermal requirements by adding secondary glazing. A large amount of the fourth floor and part of the third floor will be louvred for required airflow to air handling units and air source heat pumps.



## 6.4.10 Rose Street Ground floor

As part of the new façade design it is proposed that the entrance to the Marks & Spencer store is enlarged and relocated to a more central position. A small retail unit is retained on the eastern corner of the building. The existing core on the western side will provide the access to the hotel offices and staff facilities located on the first floor.



Ground floor



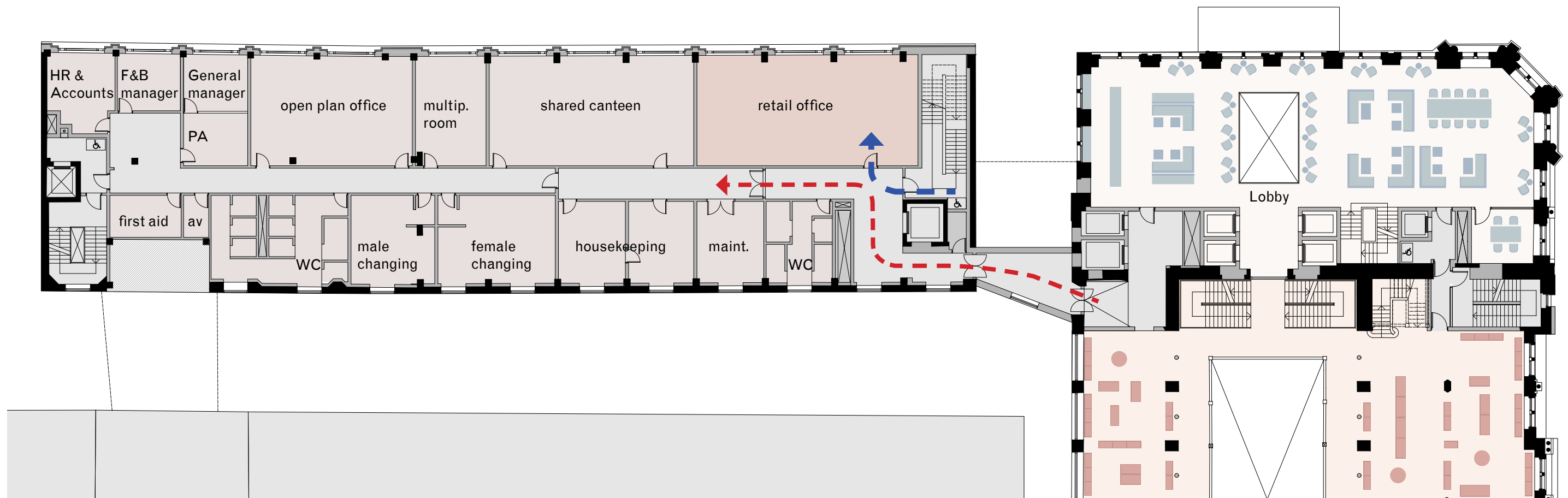


Proposed new ground floor façade with centrally located entrance doors



## 6.4.11 Back of house

The first floor contains the majority of the hotel's back of house space. This floor is connected to both the goods lift and the main servicing core via the bridge link. A remaining area of 120 m<sup>2</sup> is allocated to the retail operator for office space and WC's. Independent access to the retail and hotel office areas is not possible due to space constraints, however access can be controlled with an electronic system within a lobby connecting to the bridge link and the new stair at the eastern end of the building.

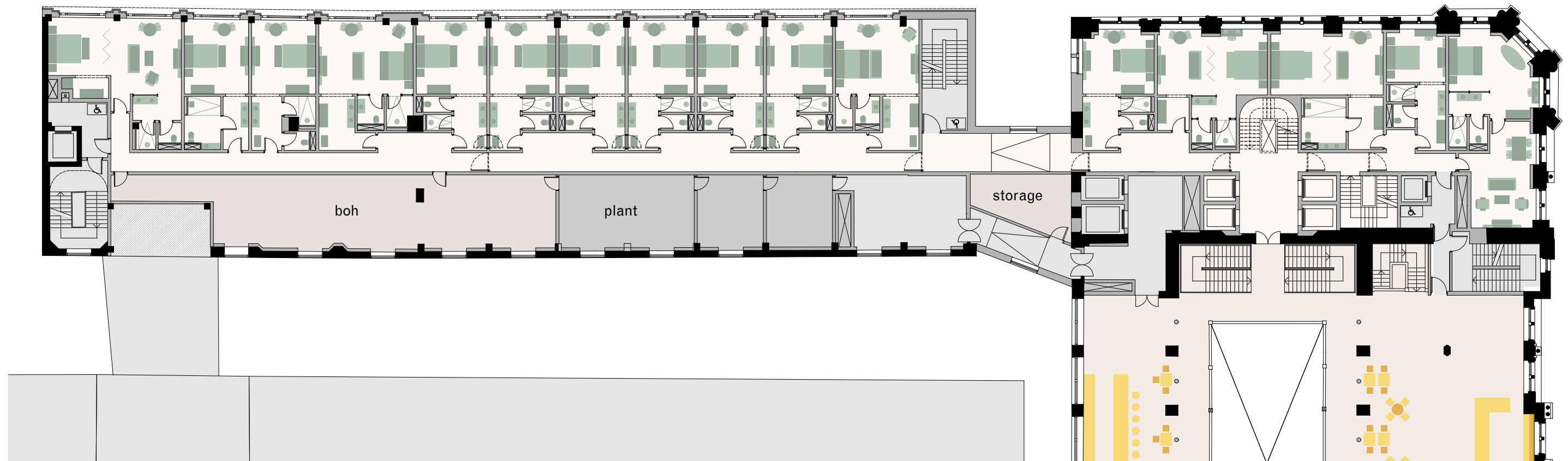


First floor



## 6.4.12 Hotel rooms

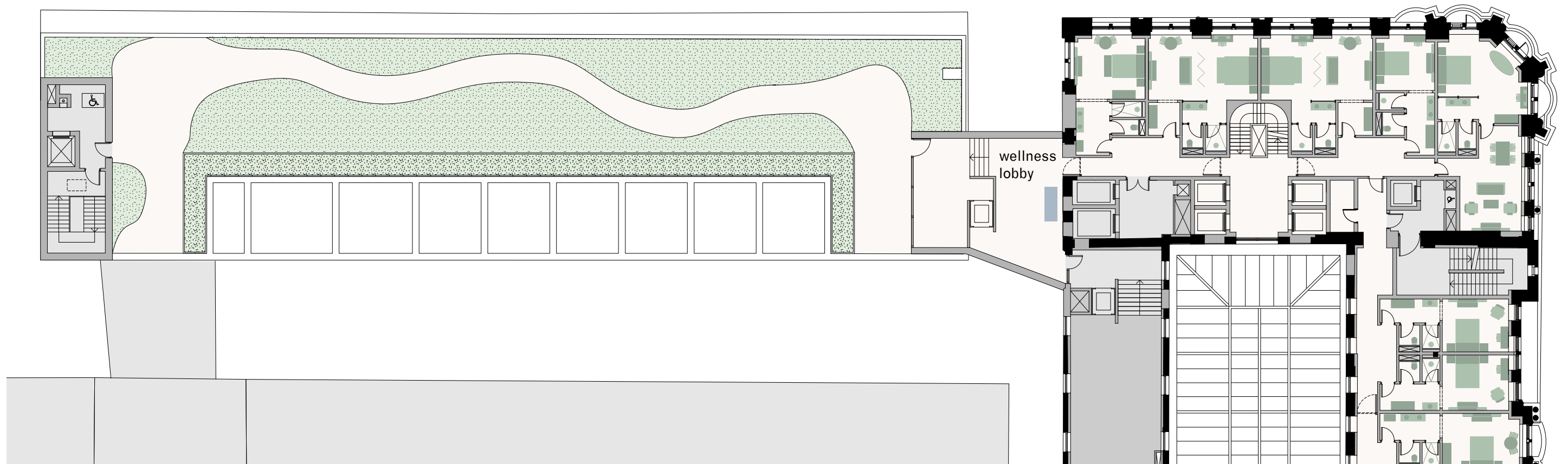
All hotel guest rooms will be located on principal façades and distributed following the existing structural grid. The Rose Street building accommodates 33 rooms of type A and B over three floors, including 3 accessible rooms. The room sizes vary between 31 m<sup>2</sup> and 52 m<sup>2</sup>.



Typical hotel floor

### 6.4.13 Accessible green roof

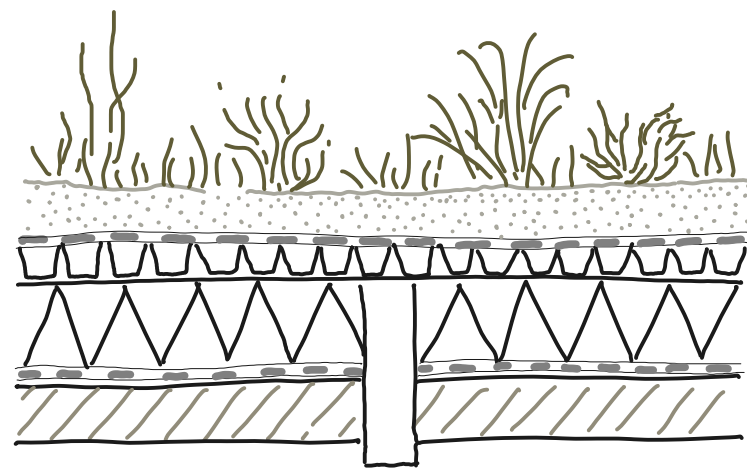
The roof garden can be accessed from the fifth floor main building via a lobby space connecting the terrace and wellness facility. The level changes in this area of the building are made accessible by platform lifts. Due to the re-use of the existing structure, load limitations apply and are a restricting factor for extensive occupation of the roof area and planting type.



Fifth floor roof garden



In accordance with the structural engineer's assessment, the roof is finished with a lightweight, extensive green roof, with paths and pockets of accessible terrace areas. Planters are introduced along the south edge to limit views into the sunken plant well.



1. vegetation
2. substrate 100mm
3. filter sheet
4. water retention system
5. insulation 200mm
6. waterproofing





## 6.4.14 Bridge Link

The 1960s Rose Street building and the principal Jenners building are connected via two bridges on level one to three. A proposed new bridge will connect levels one to five. The new bridge structure combines the existing two bridges into one and is set back further from the main Rose Street elevation, allowing the re-instatement of windows on the west facing elevation of the 1905 extension.







Axonometric view of green roof





View of wellness lobby and roof terrace